

DEVELOPMENT APPLICATION

GENERAL ABBREVIATIONS

AC	OUTDOOR AIR CONDITIONING UNIT
ADJ	ADJACENT
BL	BOLLARD LIGHT
BO	BALCONY OUTLET
CONC	CONCRETE
COL	COLUMN
CJ	CONTROL JOINT
DP	DOWNPIPE
DW	DISH WASHER
DWR	DRAW
EGL	EXISTING GROUND LINE
EXT	FIRE EXTINGUISHER
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FG	FIXED GLASS
FGL	FINISHED GROUND LINE
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FR	REFRIDGERATER
FSL	FINISHED SLAB LEVEL
GPO	GENERAL PURPOSE OUTLET
HC	HOSE COCK
HD	HAND DRYER
HR	HANDRAIL
HWS	HOT WATER SYSTEM
LP	LIGHT POLE
MB	MAILBOX
NGL	NATURAL GROUND LINE
OVR	OVERFLOW
P	PANTRY
PB1.2...	PLASTERBOARD - TYPE 1.2 ECT.
PBO	PLANTER BOX OUTLET
PP	ELECTRICITY POWER POLE
POE	ELECTRICAL POINT OF ENTRY
RL	RELATIVE LEVEL
RWH	RAIN WATER HEAD
RWO	RAIN WATER OUTLET
SD	SOAP DISPENSER
SKT	SKIRTING
SSL	STRUCTURAL SLAB LEVEL
SMH	SEWER MANHOLE
SWMH	STORM WATER MANHOLE
TRH	TOILET ROLL HOLDER
TOW	TOP OF WALL LEVEL

SHOPTOP HOUSING

5/-/DP778947 [187 BOURKE ST GOULBURN]

DA 000	COVER SHEET
DA 001	SITE ANALYSIS / EXISTING CONDITIONS
DA 002	EXISTING SITE PLAN
DA 004	DEMOLITION SITE PLAN
DA 010	PROPOSED SITE PLAN
DA 100	FLOOR PLANS
DA 101	ROOF PLAN
DA 102	AREA PLANS
DA 200	ELEVATIONS
DA 201	STREETSCAPE
DA 202	MATERIAL SAMPLE BOARD
DA 300	SECTIONS
DA 400	BASIX REQUIREMENTS
DA 401	BASIX REQUIREMENTS
DA 500	SHADOW DIAGRAMS
DA 501	SOLAR ACCESS

REV	DESCRIPTION	DATE	
A	CONCEPT ISSUE	26.05.24	This drawing is to be read in conjunction with all other contract documents inclusive of all schedules, specifications and other consultants documentation. Any discrepancies or inconsistencies are to be clarified prior to works. Written dimensions take precedence over scaled dimensions. This drawing is copyright and shall remain the property of Kensit Architects.
B	REVISED CONCEPT ISSUE	02.12.24	
C	DA DRAFT ISSUE	21.04.25	
D	CONSULTANT ISSUE	06.07.25	
E	DA ISSUE	05.08.25	
F	DA ISSUE	19.08.25	

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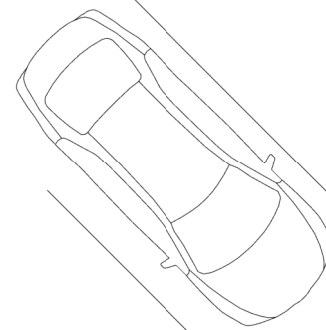
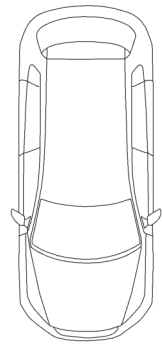
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NOMINATED ARCHITECT: DEAN KENSIT

NSW REG NO. 9968 ACT REG NO. 2574

DRAWING No.	DA 000
DRAWING TITLE	COVER SHEET
SCALE	
DATE	AUGUST 2025

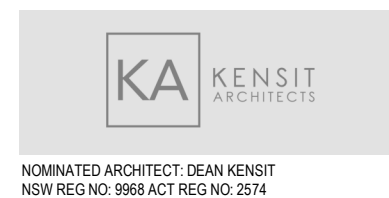
BOURKE ST



1 SITE ANALYSIS
DA 001 1:100 @ A1

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
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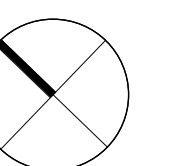
PROJECT
PROJECT No.

SHOPTOP HOUSING
54/DP778947 [187 BOURKE ST GOULBURN]
202405

DRAWING TITLE
SCALE
DATE

SITE ANALYSIS / EXISTING CONDITIONS
NTS
AUGUST 2025

DWG DA 001



LOT 5 DP778947

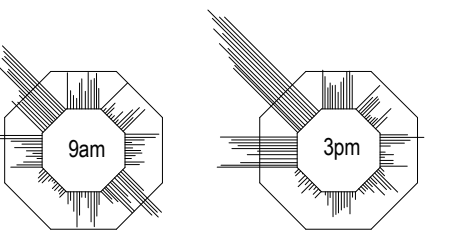
SITE AREA - 247m²

ZONING - E2 COMMERCIAL CENTRE

LEGEND

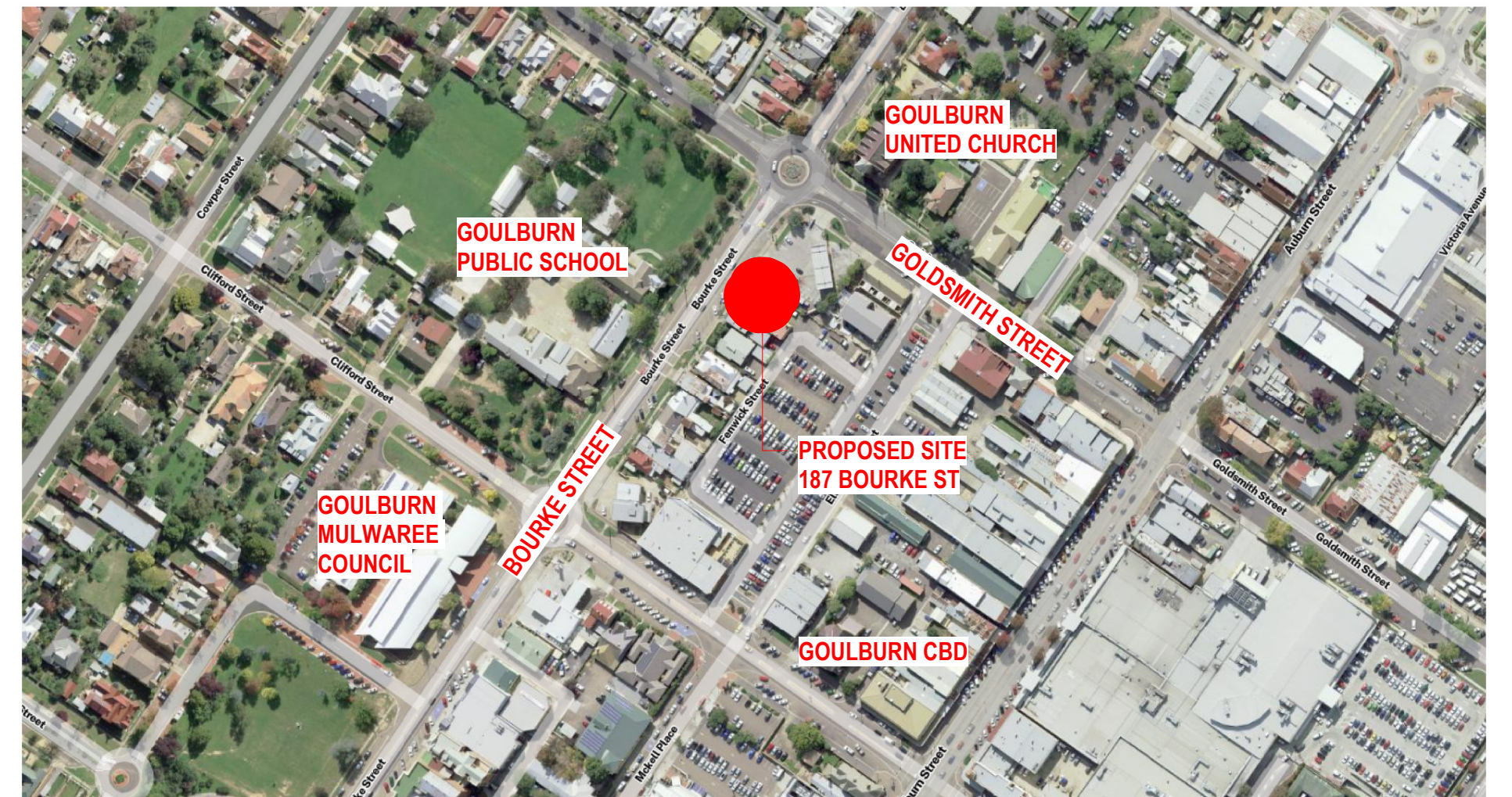
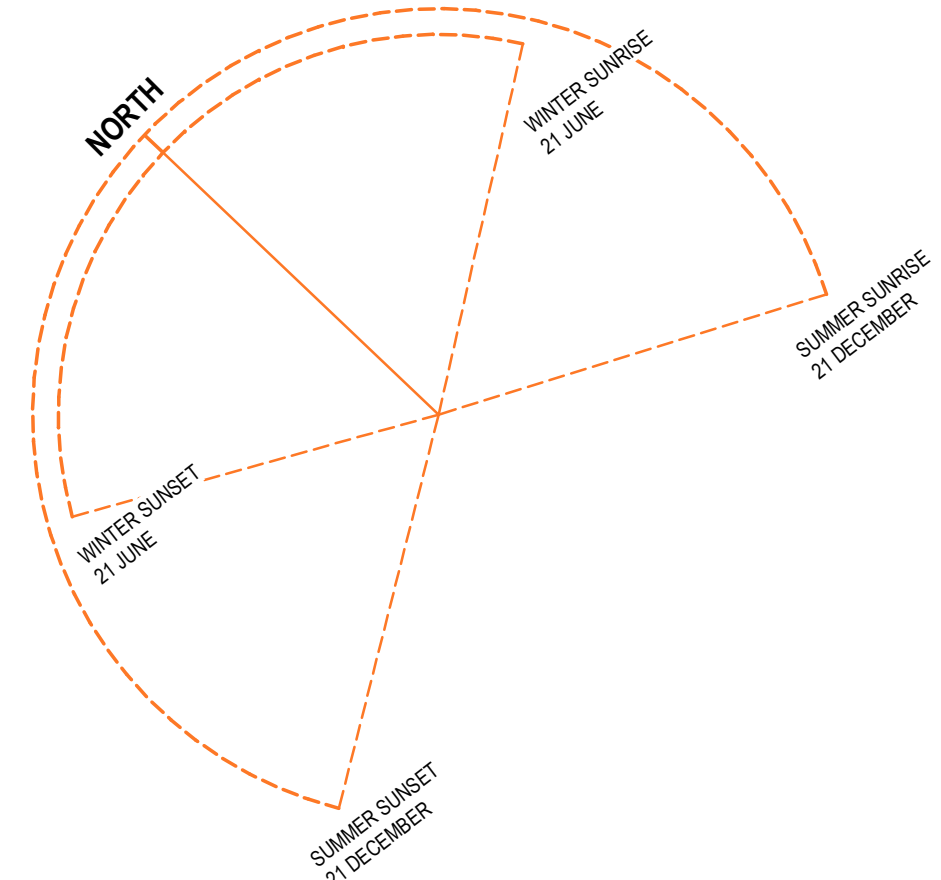
- EXISTING ROAD NETWORK
- INDICATIVE ONSITE DRIVEWAY
- BOUNDARY SITE
- SITE SETBACKS
- SERVICES - MAINS SEWER
- PEDESTRAIN NETWORK / CONNECTION

- DEMOLITION / REMOVAL
- TREE / VEGETATION
- EXISTING BUILT FORM



PREVAILING WINDS

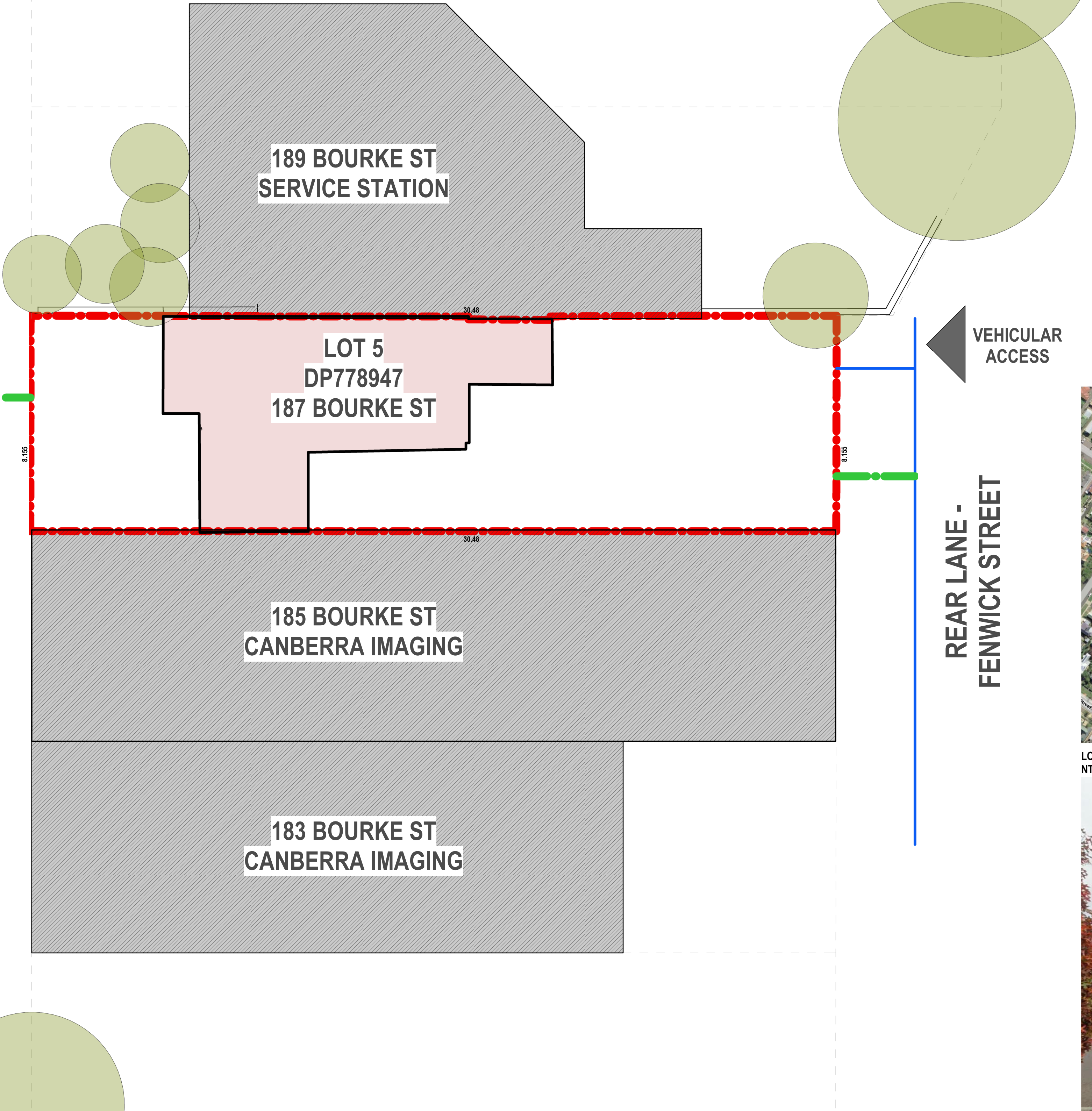
Prevailing winds are from the northwest, and strengthen during the afternoon. Autumn and spring months are 50% calm in the mornings. Summer winds swing from west to north, with some easterly winds. Southerly afternoon winter winds are a consideration for design. The climate is cool temperate with an occasional hot day. Solar access is desirable from autumn to spring.



LOCATION PLAN
NTS



EXISTING STREETScape
NTS



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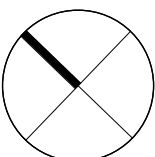
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NSW REG NO: 9988 ACT REG NO: 2574

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PROJECT **SHOPTOP HOUSING**
PROJECT No. **54/DP778947 [187 BOURKE ST GOULBURN] 202405**

DRAWING TITLE **EXISTING SITE PLAN**
SCALE **As indicated @ A1**
DATE **AUGUST 2025**

DWG **DA 002**



BOURKE ST

REAR LANE -
FENWICK STREET

AMPOL ROAD PANTRY
SERVICE STATION
189 BOURKE ST

LOT 5
DP778947
187 BOURKE ST

SINGLE STOREY -
EXISTING COMMERCIAL
BUILDING

TWO STOREY -
EXISTING COMMERCIAL
BUILDING

185 BOURKE ST

NOTES

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- ALL ARCHITECTURAL DOCUMENTATION TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
- REFER TO MATERIALS AND FINISHES SCHEDULE FOR DETAILS ON MATERIALS.
- ALL RELEVANT BUILDING CODES, AUSTRALIAN STANDARDS, AUTHORITY REQUIREMENTS AND ACT WORKPLACE SAFETY REQUIREMENTS ARE TO BE STRICTLY ADHERED IN CONSTRUCTION.
- CONNECT STORMWATER LINE TO STORMWATER TIE. EXACT POSITION OF STORMWATER TIE IS TO BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE YARD SUMPS & A.G. LINES AS REQUIRED.
- ALL SETBACKS, FLOOR LEVELS AND CONTOURS ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.
- NO SPECIFIC FLOOD REQUIREMENTS AS PER FLOOD IMPACT STATEMENT PREPARED BY LMJ CONSULTING ENGINEERS

187 BOURKE STREET GOULBURN
54-DP778947
GOULBURN NSW 2580

CONTROLS
ZONING: E2 COMMERCIAL CENTRE
HEIGHT: 15m
FSR: 2:1 (434m²)
MIN LOT SIZE: N/A

PROPOSED GFA: 393m²

PROPOSED FSR: 1.6:1

ROOF AREA: 192m²

DCPILEP
SITE COVERAGE: N/A

HEIGHT: 15m

SETBACKS

FRONT

INSTRUMENT 88B 0m

SIDE & REAR 0m

SOLAR : POS MIN 3 HRS*

PPQS: LIVING 2-3 HRS*

PARKING:

COMM 1 SPACE PER 40m²

SHOPTOP 1 SPACES / UNIT

DEVELOPMENT AREAS

SITE AREA: 247m² APPROX

54-DP778947

GOULBURN NSW 2580

YIELD SCHEDULE:

TYPE QTY %

SER 02 100%

TOTAL UNITS 02

YIELD SCHEDULE:

CARPARKING REQUIREMENTS SCHEDULE

TYPE QTY CARSPACES

COMMERCIAL / OFFICE / SHOP

(125m²) 04

TOTAL CAR SPACES 06

IT HAS BEEN ASSUMED NOT ALL RESIDENTIAL PARKING WILL BE ONSITE.

DISPENSATION MAY BE REQUIRED FOR PARKING OR PARKS FROM OFF

ED TOWARDS REQUIRED PARKING. MINIMUM ONE PARKING

LEGEND

EXISTING ROAD NETWORK

INDICATIVE ONSITE DRIVEWAY

BOUNDARY SITE

SITE SETBACKS

SERVICES - MAINS SEWER

PEDESTRAIN NETWORK / CONNECTION

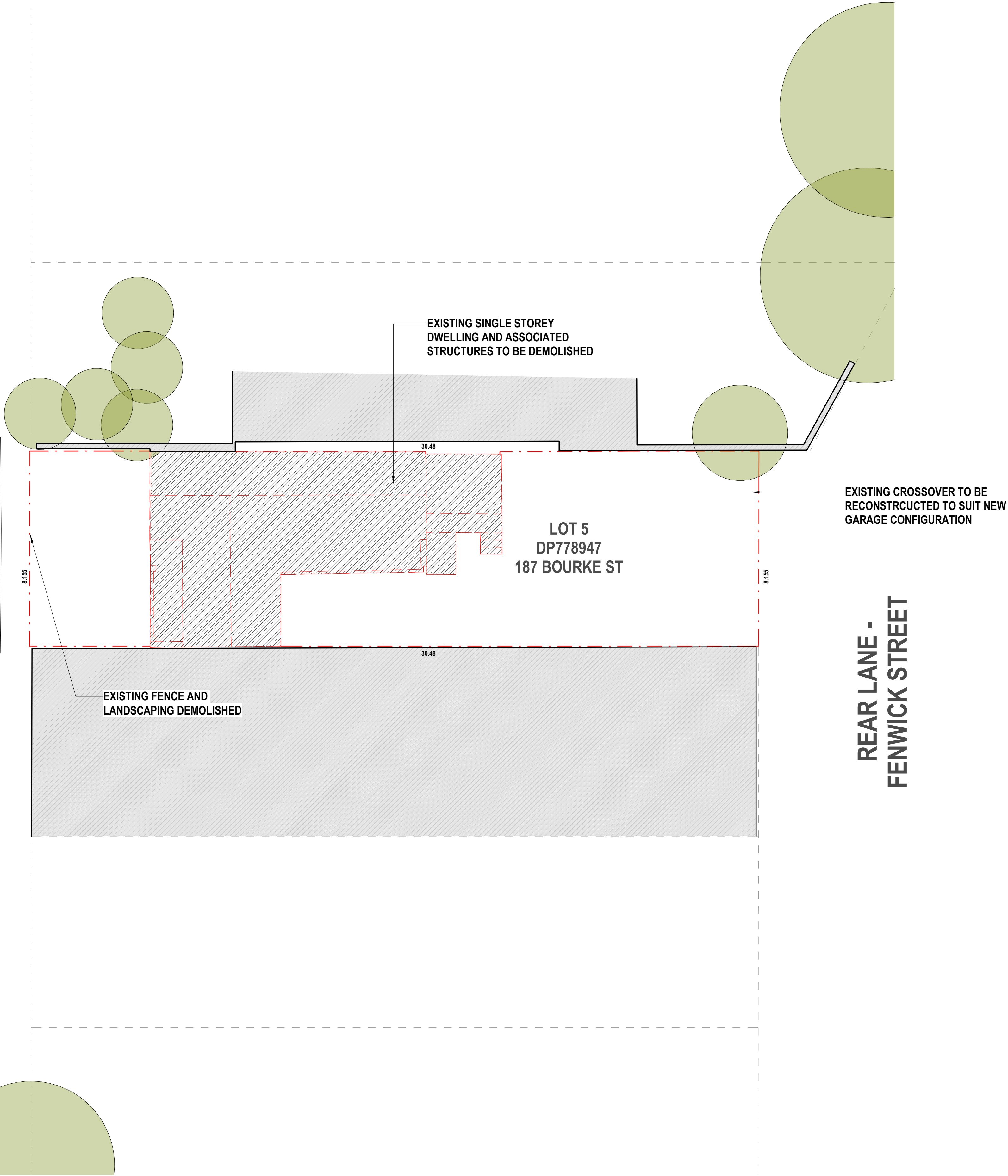
DEMOLITION / REMOVAL

TREE / VEGETATION

EXISTING BUILT FORM

BOURKE ST

REAR LANE -
FENWICK STREET

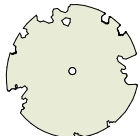
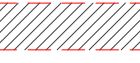


DEMOLITION NOTES

BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PLANT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORK AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THEIR RESPECTIVE KINDS.
BUILDER IS TO INFORM THEMSELF OF ALL SITE CONDITIONS AND SCOPE OF WORK PRIOR TO COMMENCING. ALL NECESSARY ALLOWANCES ARE TO BE INCLUDED SUCH AS COSTS ASSOCIATED WITH DEMOLITION MAKING GOOD, MATCHING EXISTING DETAIL, TRAVELING COSTS AND THE LIKE AS REQUIRED FOR THE SATISFACTORY COMPLETION OF THE ALTERATIONS WHETHER EXPRESSLY INDICATED OR NOT AND AS NECESSITATED BY SITE CONDITIONS. WHERE ADJUSTMENTS ARE REQUIRED TO SUITE SITE CONDITIONS CONSULT CLIENT FOR APPROVAL.
MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, THE NSW APPENDIX, AND ALL OTHER RELEVANT CODES.
DEMOLITION
PROVIDE ALL NECESSARY DEMOLITION WORK REQUIRED FOR THE PROPER COMPLETION OR OF THE RENOVATIONS, ALTERATIONS AND ALL OTHER ASSOCIATED WORKS.
WHERE DEMOLITION WORK IS CARRIED OUT ENSURE THAT ADEQUATE STRUCTURAL SUPPORT IS PROVIDED TO MAINTAIN THE INTEGRITY OF EXISTING STRUCTURE PRIOR TO REMOVING ANY EXISTING BUILDING ELEMENT.
PROTECT MATERIALS AND PROPERTY FROM DAMAGE. MAKE GOOD EXISTING WORK THAT HAS BEEN DAMAGED. NEW DETAIL TO MATCH EXISTING WHERE APPROPRIATE AND, UNLESS OTHERWISE DIRECTED, NEW FINISH TO BLEND INTO ADJACENT SURFACES.
SERVICES: WHERE EXISTING SERVICES ARE TO BE MODIFIED, DISCONNECTED, OR RELOCATED ENSURE THAT ALL REDUNDANT SERVICES ARE MADE SAFE.
MATERIALS AND COMPONENTS
HAZARDOUS MATERIALS: GIVE NOTICE IMMEDIATELY ANY HAZARDOUS MATERIALS OR CONDITIONS ARE FOUND.
DEMOLISHED MATERIALS
EXCEPT FOR MATERIALS AS DIRECTED BY THE CLIENT TO BE SALVAGED OR RE-USED, DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR AND MUST BE REMOVED FROM THE SITE. DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.
SALVAGE: RECOVER MATERIALS TO BE SALVAGED OR RE-USED WITHOUT DAMAGE.
RE-USE: RE-USE ONLY MATERIALS RECOVERED FROM THE DEMOLITIONS IN A SOUND AND SUITABLE CONDITION.
STORAGE: STORE IN AN APPROVED LOCATION ANY MATERIALS TO BE RE-USED.
REMOVAL: COVER MATERIALS IN TRANSIT TO PREVENT SPILLAGE.

SUPPORT
PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO BE ALTERED AND WHICH NORMALLY RELY FOR SUPPORT, ON WORK TO BE DEMOLISHED. SUPPORT UNTIL PERMANENTLY SUPPORTED ON NEW WORK. CLEAR AWAY TEMPORARY SUPPORTS ON COMPLETION.
GROUND SUPPORT: SUPPORT EXCAVATIONS FOR DEMOLITION OF UNDERGROUND STRUCTURES.
WEATHER PROTECTION
IF WALLS OR ROOFS ARE OPENED FOR ALTERATIONS AND ADDITIONS OR THE SURFACES OF ADJOINING BUILDINGS ARE EXPOSED, PROVIDE TEMPORARY COVERS TO PREVENT WATER PENETRATION. PROVIDE COVERS TO PROTECT EXISTING PLANT AND EQUIPMENT AND MATERIALS INTENDED FOR RE-USE.
DUST PROTECTION
PROVIDE DUST-PROOF SCREENS, BULKHEADS AND COVERS TO PROTECT EXISTING FINISHES AND THE IMMEDIATE ENVIRONMENT FROM DUST AND DEBRIS.
EXPLOSIVES
DO NOT USE EXPLOSIVES.
POLLUTION:
AS PER AUSTRALIAN STANDARDS AND ACT POLLUTION CONTROL LAWS
ASBESTOS:
SHOULD THERE BE ANY TRACE OF ASBESTOS IN THE EXISTING HOME, IT SHOULD BE DISPOSED OF BY A SUITABLY QUALIFIED AND LICENSED PERSON AS PER AUSTRALIAN STANDARDS
EXISTING SERVICES:
ELECTRICITY TO BE DISCONNECTED AS PER ACTEWAGL REQUIREMENTS AND RELOCATED THROUGH TEMPORARY SUPPLY. SEWERAGE AND STORMWATER TO BE CAPPED OFF. WATER SUPPLY TO BE TERMINATED AND CONNECTED ON A TEMPORARY SUPPLY BASIS. TELEPHONE TO BE DISCONNECTED AND THE LINE REMOVED BY TELSTRA
VEGETATION:
TREES FOR REMOVAL ARE TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED AND TAKEN TO THE APPROPRIATE AREA OF THE TIP. CARE MUST BE TAKEN IN RELATION TO OVER-HEAD POWER LINES

LEGEND

-  TREES TO BE RETAINED
-  TREES TO BE REMOVED
-  EXISTING STRUCTURE TO BE DEMOLISHED

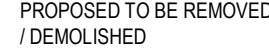
FOR NOMINATED TREE REMOVAL REFER TO ARBORICULTURAL ASSESSMENT & TREE PROTECTION PLAN WHERE REQUIRED

1 DEMOLITION SITE PLAN
DA 004 1:100 @ A1

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
B	REVISED CONCEPT ISSUE	02.12.24
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LEGEND

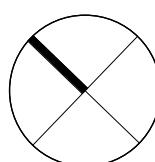
-  PROPOSED TO BE REMOVED
-  / DEMOLISHED

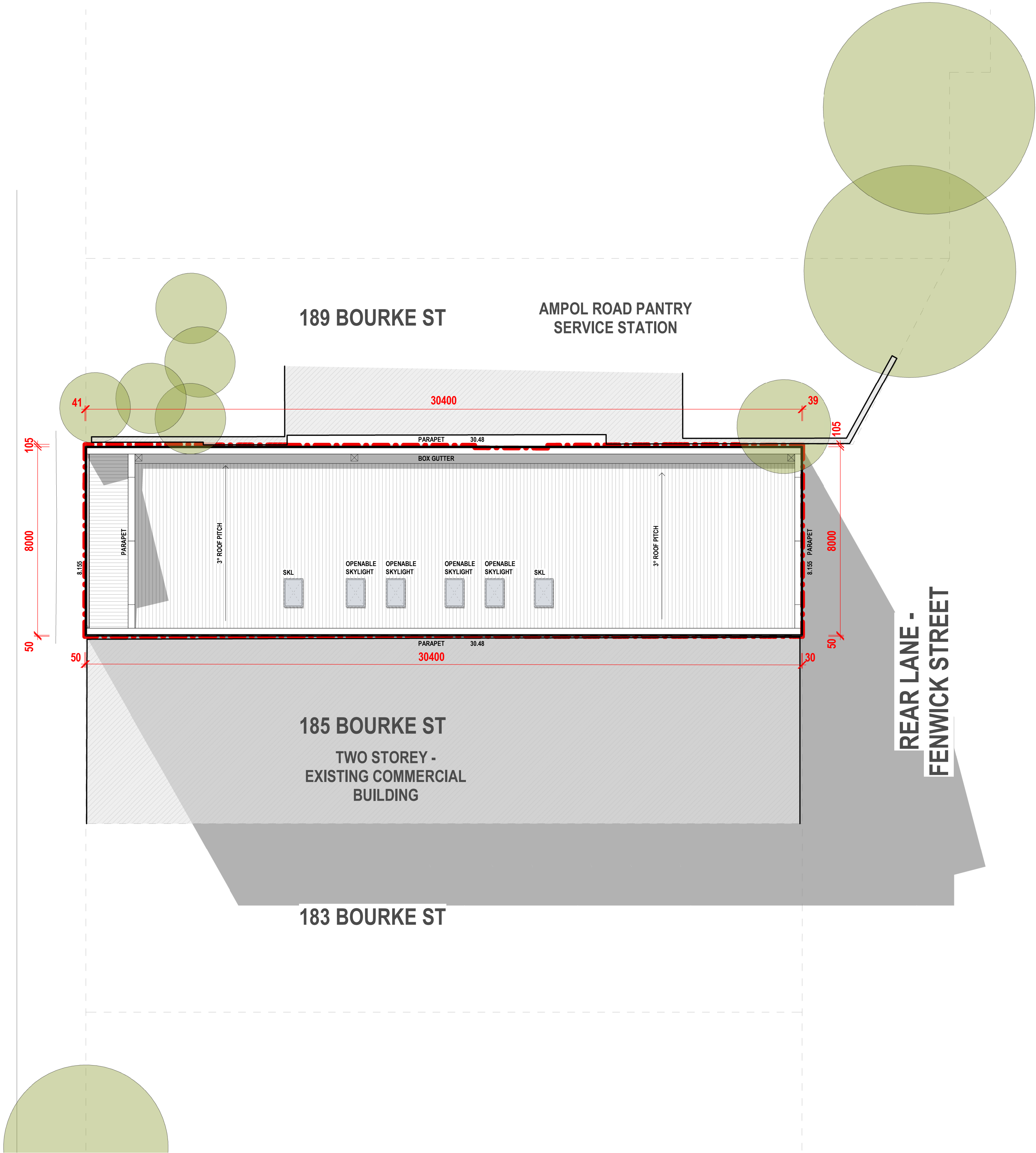
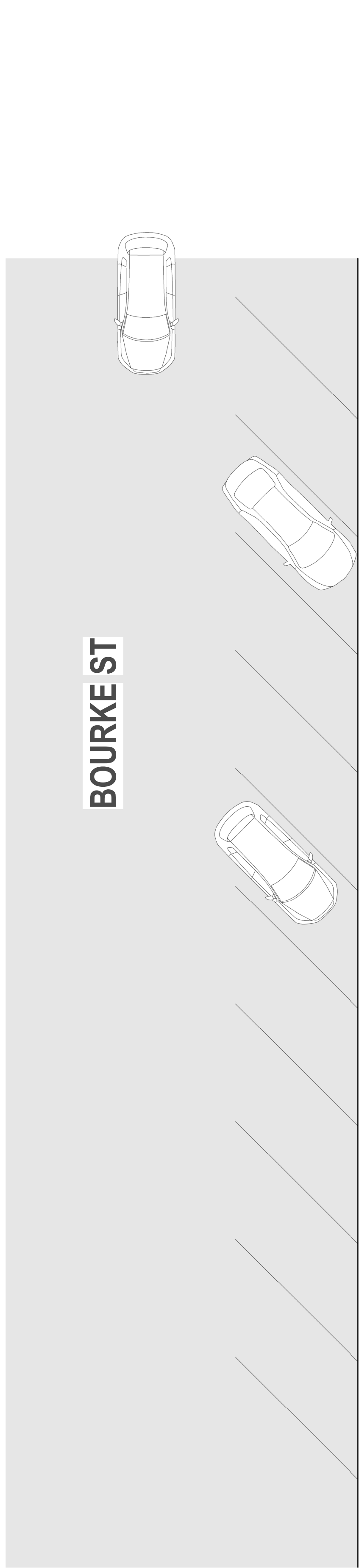
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NSW REG NO: 9888 ACT REG NO: 2574

PROJECT SHOPTOP HOUSING
PROJECT No. 54/DP778947 [187 BOURKE ST GOULBURN]
202405

DRAWING TITLE DEMOLITION SITE PLAN
SCALE As indicated @ A1
DATE AUGUST 2025

DWG DA 004





- NOTES**
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187 BOURKE STREET GOULBURN
5/-DP778947
GOULBURN NSW 2580

CONTROLS
ZONING: E2 COMMERCIAL CENTRE
HEIGHT: 15m
FSR: 2:1 (434m²)
MIN LOT SIZE: N/A

PROPOSED GFA: 393m²

PROPOSED FSR: 1.6:1

ROOF AREA: 192m²

DC/PLEP
SITE COVERAGE: N/A
HEIGHT: 15m
SETBACKS
FRONT
INSTRUMENT 88B 0m
SIDE & REAR 0m
SOLAR : LIVING 2-3 HRS*
POS MIN 3 HRS*
PROS:
PARKING:
COMM 1 SPACE PER 40m²
SHOPTOP 1 SPACES / UNIT

DEVELOPMENT AREAS
SITE AREA: 247m² APPROX
5/-DP778947
GOULBURN NSW 2580

YIELD SCHEDULE:	TYPE	QTY	%
SER	02	100%	
TOTAL UNITS	02		

YIELD SCHEDULE:
CARPARKING REQUIREMENTS SCHEDULE
TYPE QTY CARSPACES
COMMERCIAL / OFFICE / SHOP (125m²) 04
TOTAL CAR SPACES 06
IT HAS BEEN ASSUMED NOT ALL RESIDENTIAL PARKING WILL BE ONSITE. DISPENSATION MAY BE REQUIRED FOR PARKING OR PARKS FROM OFF STREET COUNTED TOWARDS REQUIRED PARKING. MINIMUM ONE PARKING SPACE PER UNIT ON SITE.

1 PROPOSED SITE PLAN
DA 010 1:100 @ A1

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
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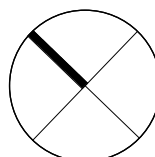
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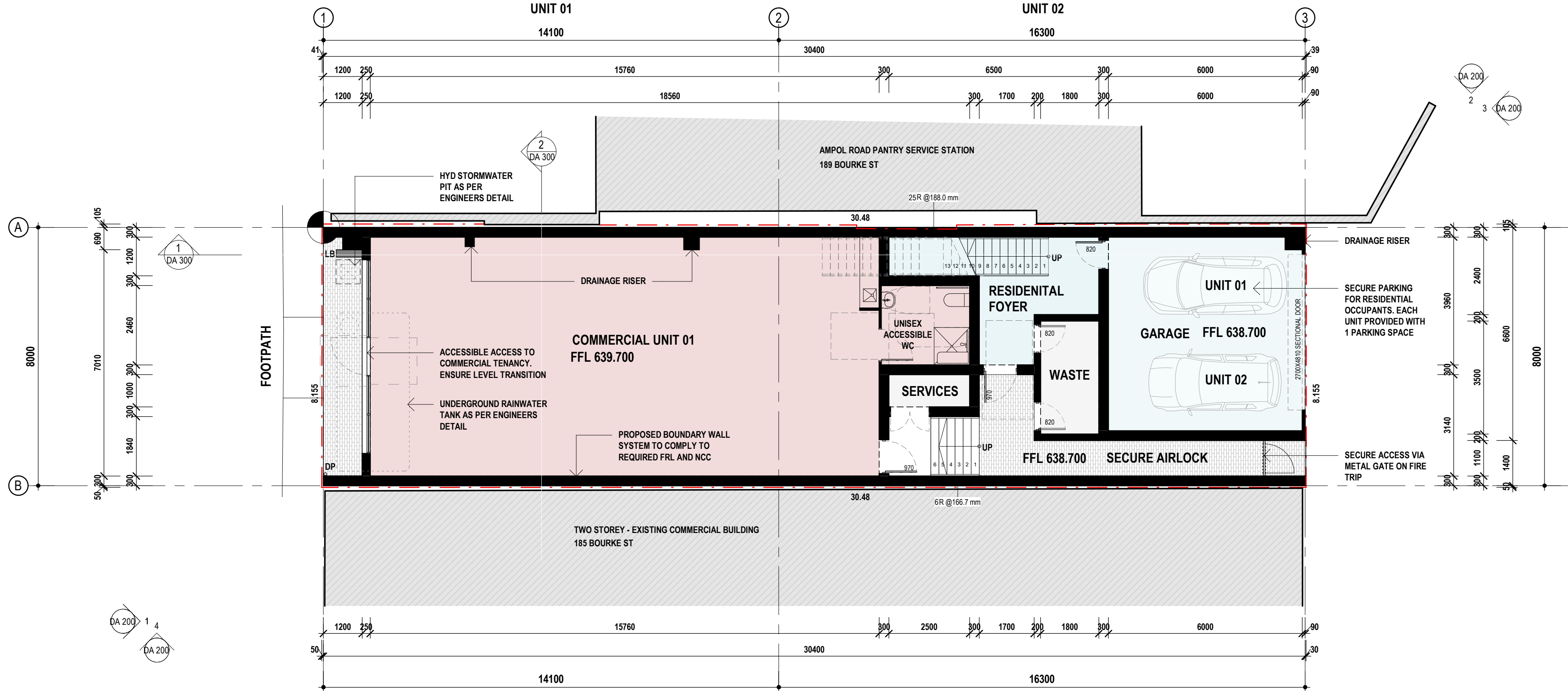
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PROJECT No. 202405

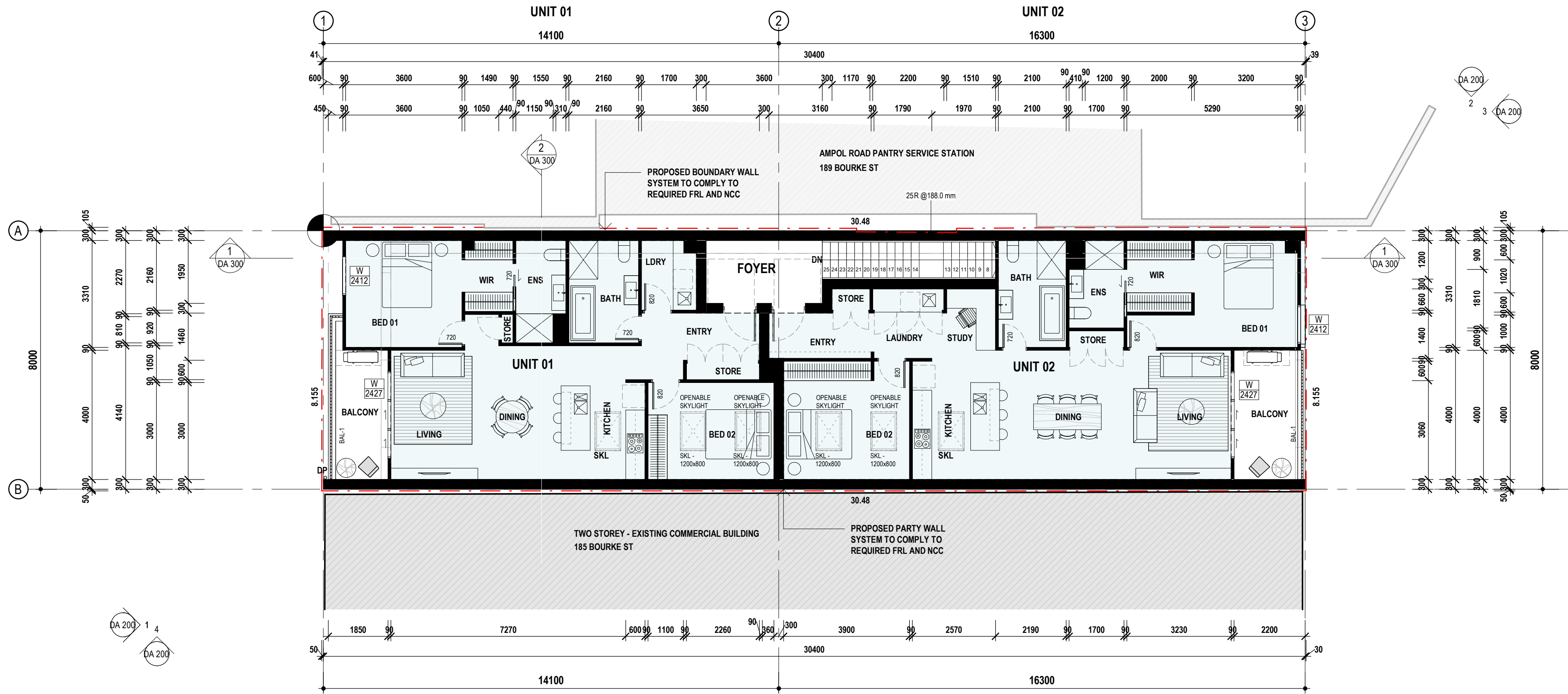
DRAWING TITLE PROPOSED SITE PLAN
SCALE 1:100 @ A1
DATE AUGUST 2025

DWG DA 010





1 GROUND FLOOR
1:100 @ A1



2 LEVEL 01
1:100 @ A1

NOTES

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187 BOURKE STREET GOULBURN
54/DP778947
GOULBURN NSW 2580

CONTROLS
ZONING: E2 COMMERCIAL CENTRE
HEIGHT: 15m
FSR: 2.1 (494m²)
MIN LOT SIZE: N/A
PROPOSED OFA: 393m²
PROPOSED FSR: 1.6:1
ROOF AREA: 192m²

DC/PLEP
SITE COVERAGE: N/A
HEIGHT: 15m
SETBACKS
FRONT: 0m
INSTRUMENT 888
SIDE & REAR: 0m
SOLAR: LIVING 2-3 HRS*
POS MIN 3 HRS*
PPOS:
PARKING: 1 SPACE PER 40m²
COMM: 1 SPACES / UNIT
SHOPTOP

DEVELOPMENT AREAS
SITE AREA: 247m² APPROX
54/DP778947
GOULBURN NSW 2580

YIELD SCHEDULE:
TYPE QTY %
3BR 02 100%
TOTAL UNITS 02

YIELD SCHEDULE:
CARPARKING REQUIREMENTS SCHEDULE
TYPE QTY CARSPACES
COMMERCIAL / OFFICE / SHOP
(125m²) 04
2 UNITS 02
TOTAL CAR SPACES 06
IT HAS BEEN ASSUMED NOT ALL RESIDENTIAL PARKING WILL BE ONSITE. DISPENSATION MAY BE REQUIRED FOR PARKING OR PARKS FROM OFF STREET COUNTED TOWARDS REQUIRED PARKING. MINIMUM ONE PARKING SPACE PER UNIT ON SITE.

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
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PROJECT

SHOPTOP HOUSING

PROJECT No.

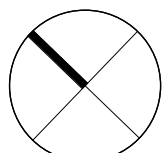
54/DP778947 [187 BOURKE ST GOULBURN]
202405

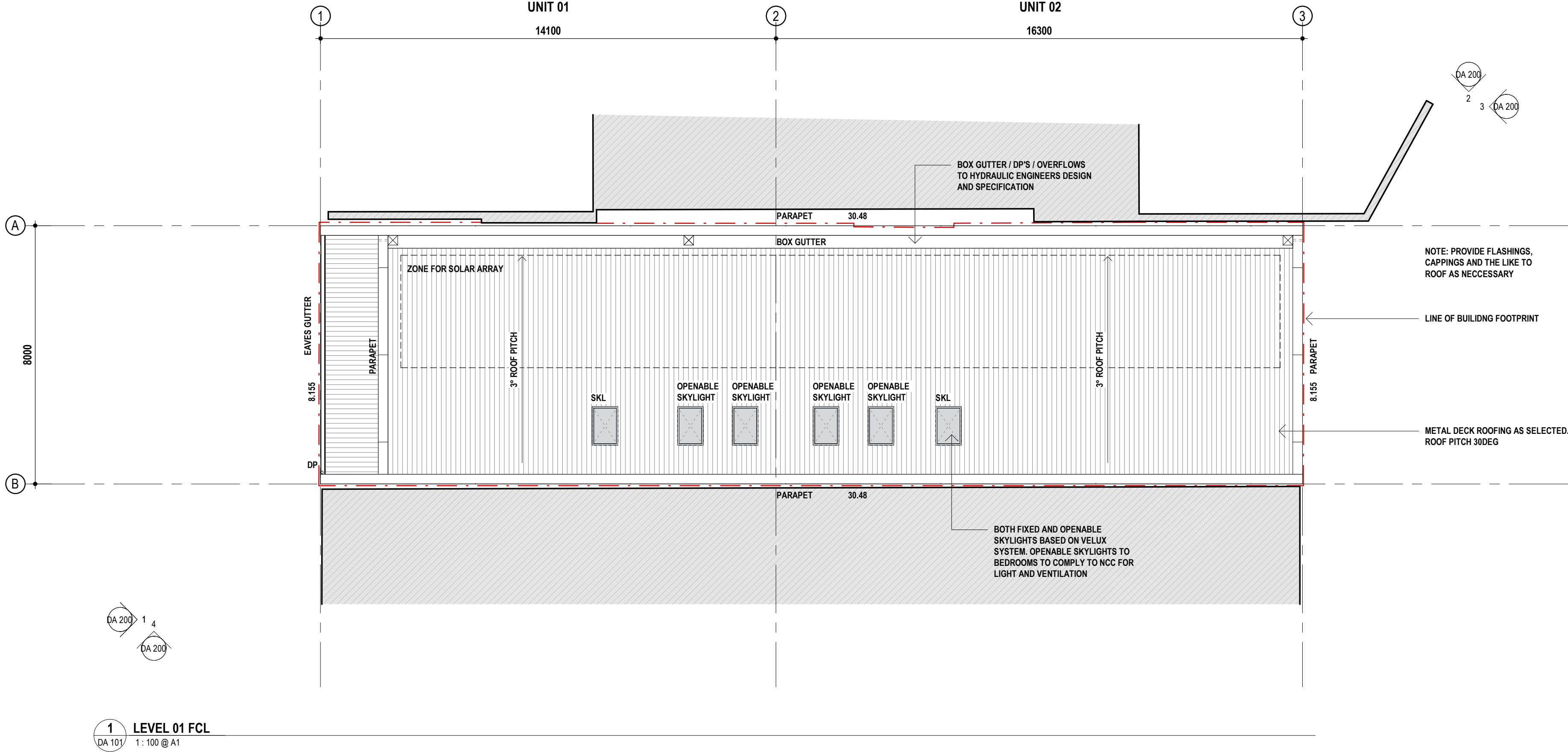
DRAWING TITLE FLOOR PLANS

SCALE 1:100 @ A1
DATE AUGUST 2025

DWG

DA 100





NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- ALL ARCHITECTURAL DOCUMENTATION TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
- REFER TO MATERIALS AND FINISHES SCHEDULE FOR DETAILS ON MATERIALS.
- ALL RELEVANT BUILDING CODES, AUSTRALIAN STANDARDS, AUTHORITY REQUIREMENTS AND ACT WORKPLACE SAFETY REQUIREMENTS ARE TO BE STRICTLY ADHERED IN CONSTRUCTION.
- CONNECT STORMWATER LINE TO STORMWATER TIE. EXACT POSITION OF STORMWATER TIE IS TO BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE YARD SUMPS & A.G. LINES AS REQUIRED.
- ALL SETBACKS, FLOOR LEVELS AND CONTOURS ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.
- NO SPECIFIC FLOOD REQUIREMENTS AS PER FLOOD IMPACT STATEMENT PREPARED BY LMJ CONSULTING ENGINEERS

187 BOURKE STREET GOULBURN
54/DP778947
GOULBURN NSW 2580

CONTROLS
ZONING: E2 COMMERCIAL CENTRE
HEIGHT: 15m
FSR: 2.1 (494m²)
MIN LOT SIZE: N/A

PROPOSED OFA: 393m²

PROPOSED FSR: 1.6:1

ROOF AREA: 192m²

DC/PILEP
SITE COVERAGE: N/A
HEIGHT: 15m
SETBACKS
FRONT:
INSTRUMENT 88B 0m
SIDE & REAR 0m
SOLAR: LIVING 2-3 HRS*
POS MIN 3 HRS*
PPOS:
PARKING:
COMM 1 SPACE PER 40m²
SHOPTOP 1 SPACES / UNIT

DEVELOPMENT AREAS
SITE AREA: 247m² APPROX
54/DP778947
GOULBURN NSW 2580

YIELD SCHEDULE:
TYPE QTY %
3BR 02 100%
TOTAL UNITS 02

YIELD SCHEDULE:
CARPARKING REQUIREMENTS SCHEDULE
TYPE QTY CARSPACES
COMMERCIAL / OFFICE / SHOP
(125m²) 04
2 UNITS 02
TOTAL CAR SPACES 06

IT HAS BEEN ASSUMED NOT ALL RESIDENTIAL PARKING WILL BE ONSITE. DISPENSATION MAY BE REQUIRED FOR PARKING OR PARKS FROM OFF STREET COUNTED TOWARDS REQUIRED PARKING. MINIMUM ONE PARKING SPACE PER UNIT ON SITE.

UNCONTROLLED ISSUE

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
B	REVISED CONCEPT ISSUE	02.12.24
C	DA DRAFT ISSUE	21.04.25
D	CONSULTANT ISSUE	06.07.25
E	DA ISSUE	05.08.25
F	DA ISSUE	19.08.25

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PROJECT

SHOPTOP HOUSING

PROJECT No.

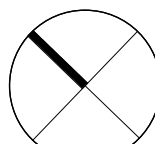
54/DP778947 [187 BOURKE ST GOULBURN]
202405

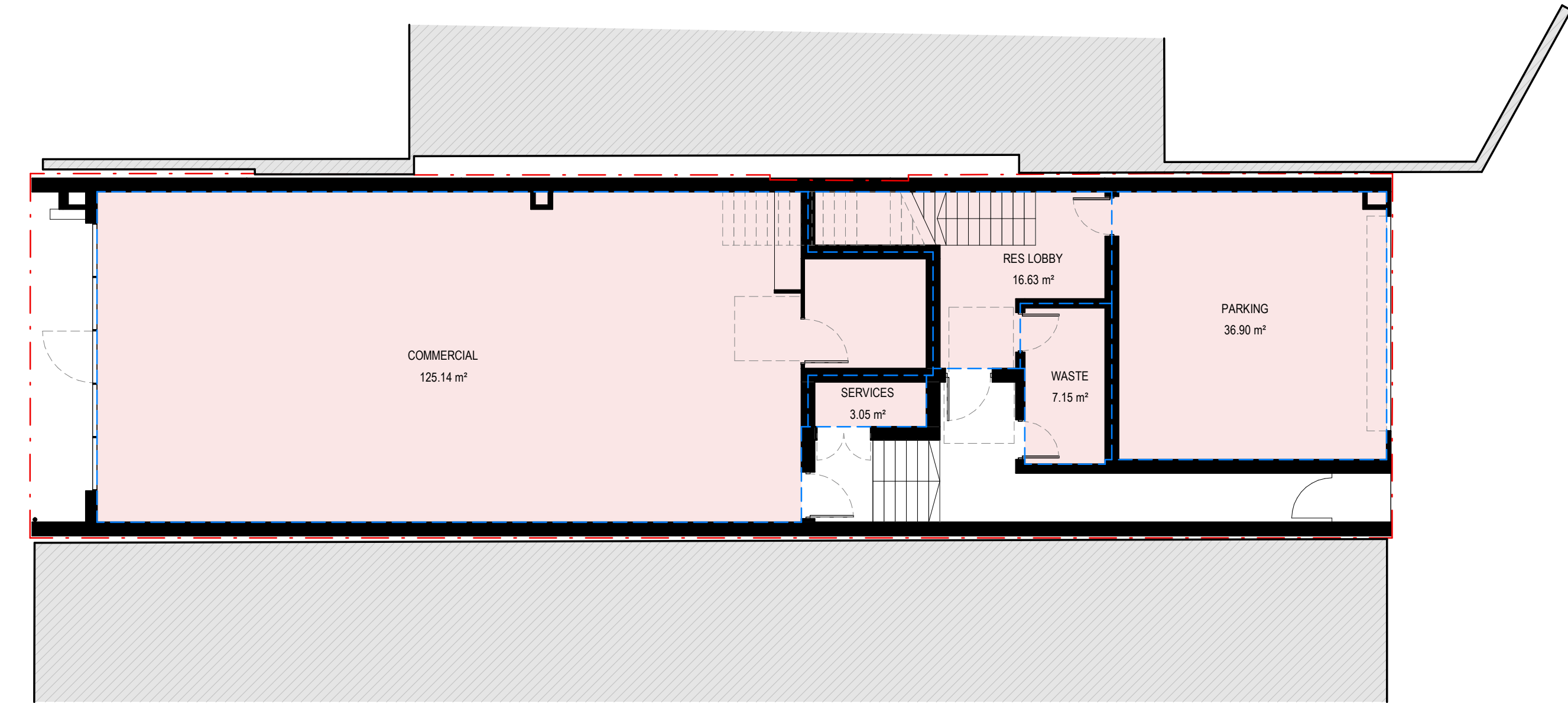
DRAWING TITLE ROOF PLAN

SCALE 1:100 @ A1
DATE AUGUST 2025

DWG

DA 101





1 GROUND FLOOR
DA 102/ 1: 100 @ A1

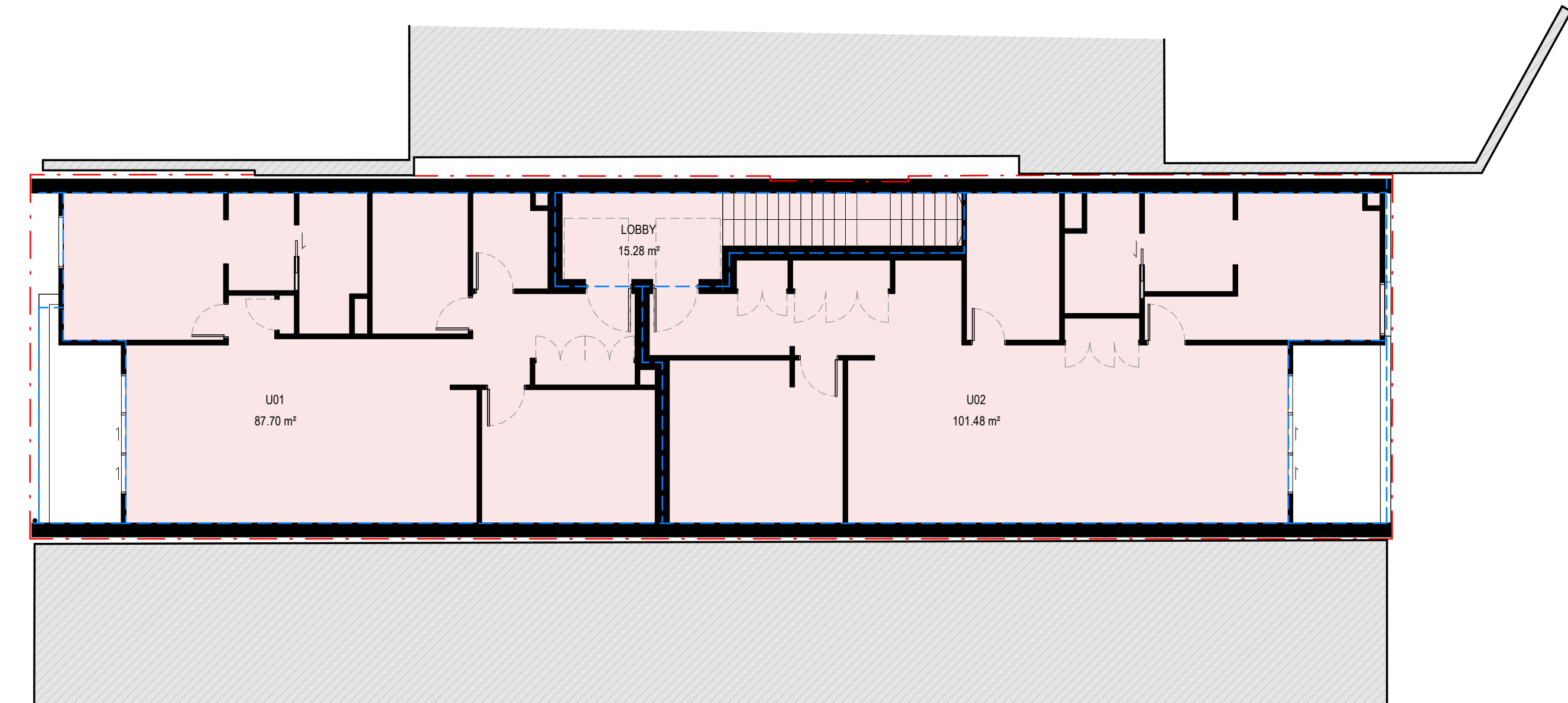
AREA SCHEDULE (GFA)		
GROUND FLOOR	COMMERCIAL	125.1 m²
GROUND FLOOR	PARKING	36.9 m²
GROUND FLOOR	RES LOBBY	16.6 m²
GROUND FLOOR	SERVICES	3.0 m²
GROUND FLOOR	WASTE	7.2 m²
LEVEL 01	LOBBY	15.3 m²
LEVEL 01	U01	87.7 m²
LEVEL 01	U02	101.5 m²
		393.3 m²

FLOOR SPACE RATIO

187 BOURKE STREET GOULBURN
5/-DP778947
GOULBURN NSW 2580

CONTROLS
FSR: 2:1 (494m²)

PROPOSED GFA: 393m²
PROPOSED FSR: 1.6:1

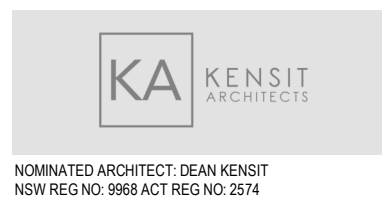


2 LEVEL 01
DA 102/ 1: 100 @ A1

REV	DESCRIPTION
A	DA DRAFT ISSUE
B	CONSULTANT ISSUE
C	DA ISSUE
D	DA ISSUE

DATE
21.04.25
06.07.25
05.08.25
19.08.25

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PROJECT

SHOPTOP HOUSING

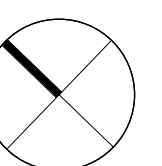
PROJECT No.

5/-DP778947 [187 BOURKE ST GOULBURN]
202405

DRAWING TITLE AREA PLANS

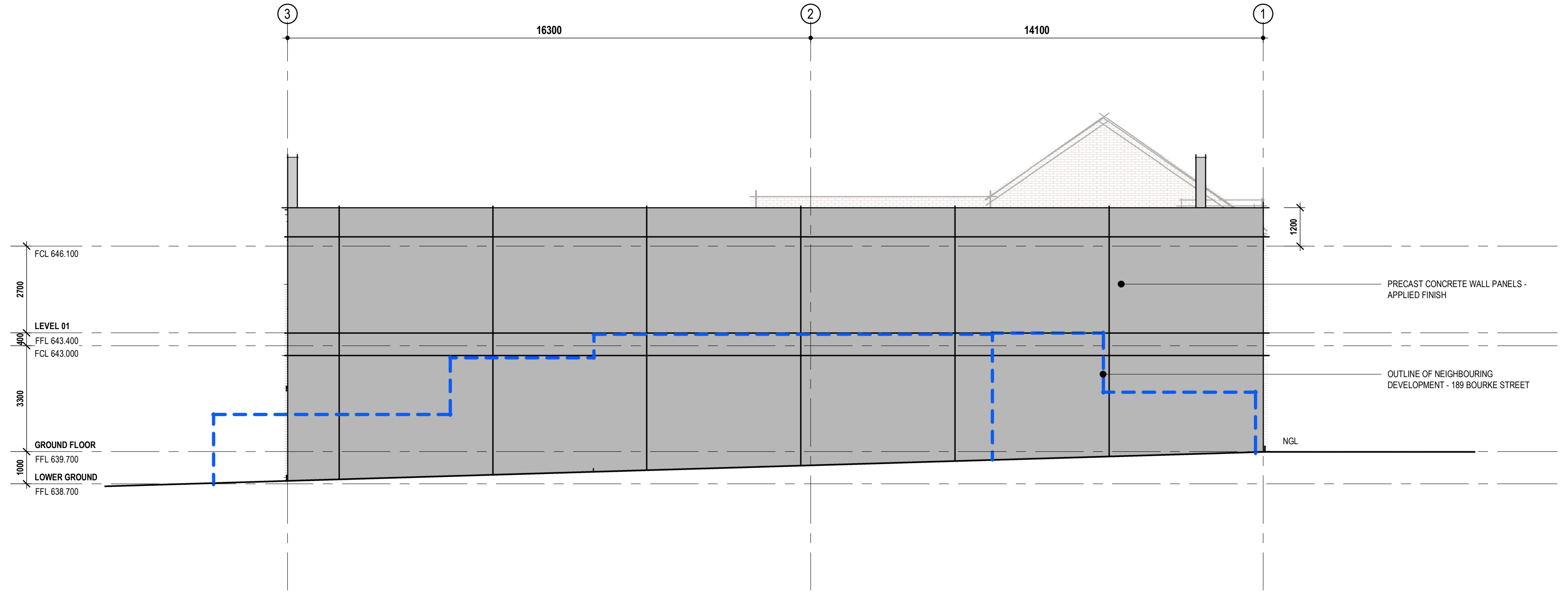
SCALE As indicated @ A1
DATE AUGUST 2025

DWG DA 102

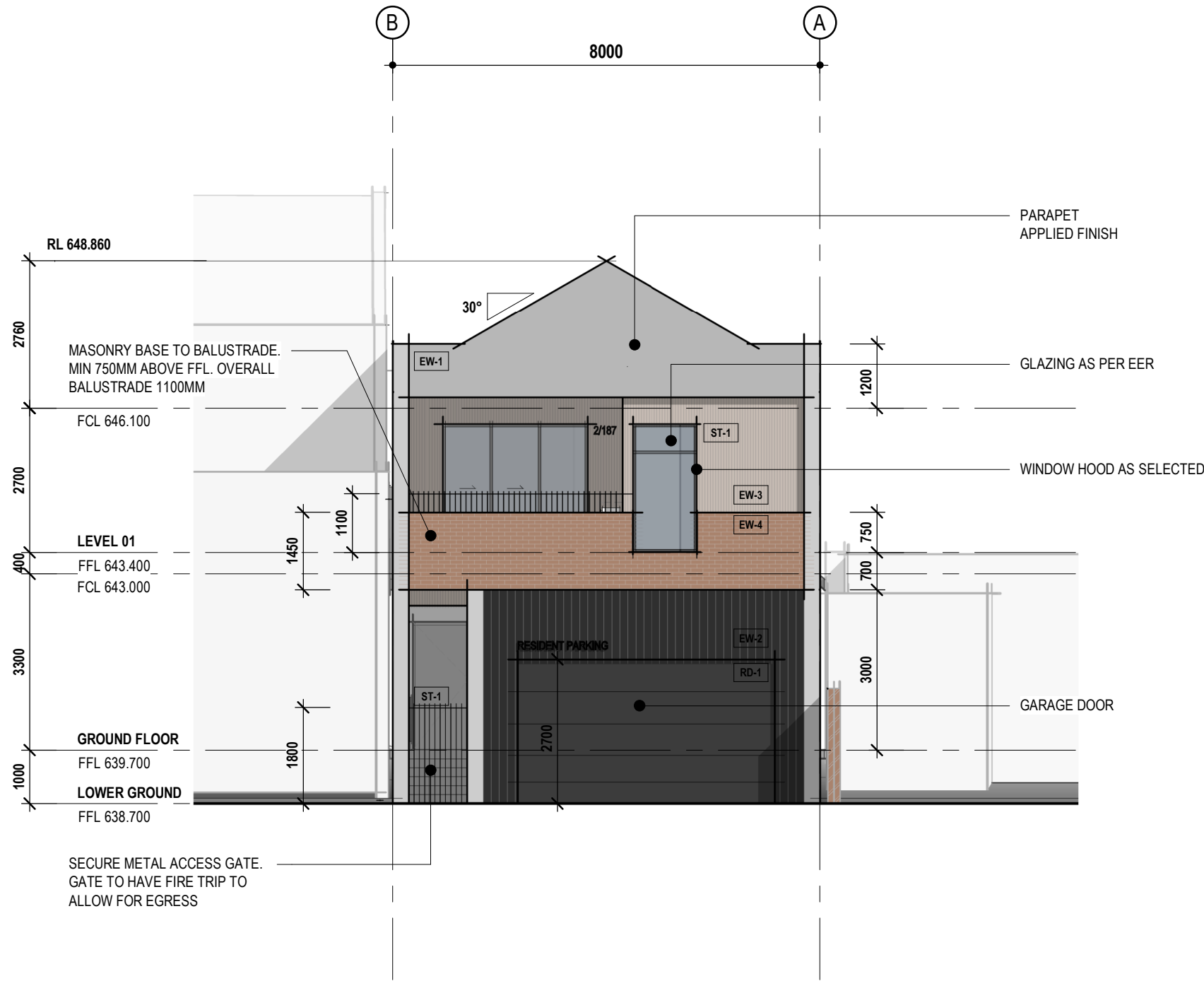




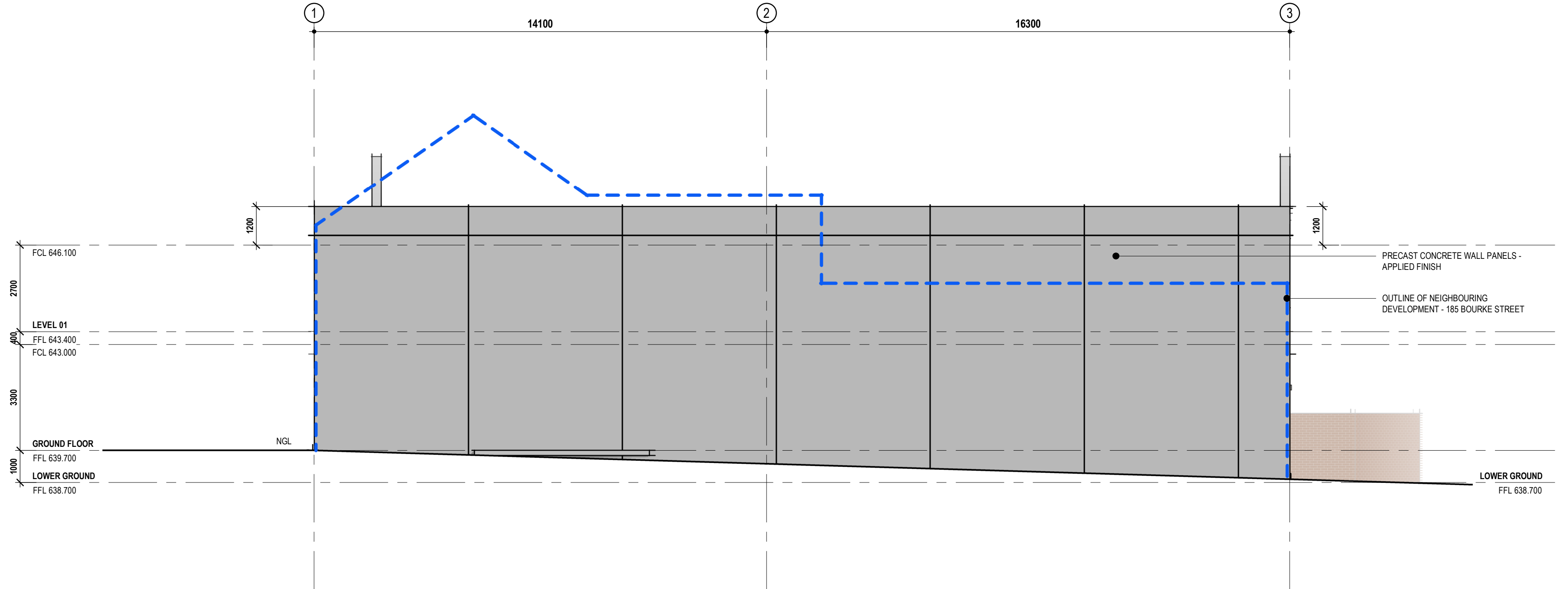
1 ELEVATION 1
DA 200 1:100 @ A1



2 ELEVATION 2
DA 200 1:100 @ A1



3 ELEVATION 3
DA 200 1:100 @ A1



4 ELEVATION 4
DA 200 1:100 @ A1

FINISHES SCHEDULE

EW-1	EXTERIOR WALL: PRECAST CONCRETE RENDER / APPLIED FINISH - GREY	RF-1	METAL DECK ROOFING / DPS / GUTTER / FASCIA: COLORBOND - SOUTHERLY
EW-2	EXTERIOR WALL: VERTICAL CLADDING - BLACK CEDAR	BAL-1	(MINIMUM 1.1m HIGH); STEEL FLAT BAR BALUSTRADE - MONUMENT
EW-3	EXTERIOR WALL: VERTICAL CLADDING - SYCAMORE	WF-01	GLAZING CLEAR WITH MONUMENT WINDOW FRAME
EW-4	EXTERIOR WALL: BRICKWORK - RECYCLED - NAUTIUS	WF-02	COLORBACK GLASS WITH MONUMENT WINDOW FRAME
RD-1	GARAGE DOOR: METAL - MONUMENT	ST-1	METAL AWNINGS / STEEL MEMBERS: METAL - MONUMENT (REFER TO EXTERIOR FACADE CONCEPT / MATERIALS / INSPIRATION PREPARED BY DEACON DESIGNS)

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REV	DESCRIPTION	DATE
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PROJECT SHOPTOP HOUSING
PROJECT No. 54/DP778947 [187 BOURKE ST GOULBURN]
202405

DRAWING TITLE ELEVATIONS

SCALE 1:100 @ A1
DATE AUGUST 2025

DWG DA 200



1 STREETScape - Bourke Street
DA 201 1:50 @ A1

HERITAGE & URBAN DESIGN CONSIDERATIONS

187 BOURKE STREET, GOULBURN MIXED USE DEVELOPMENT WITHIN GOULBURN HERITAGE CONSERVATION AREA HERITAGE CONTEXT

- The site is located within the Goulburn Heritage Conservation Area.
- The immediate streetscape is mixed in character, with a range of historic and contemporary buildings, including a service station to the north and a two-storey modern mixed-use building to the south.
- The existing structure is non-contributory in heritage terms and its replacement offers an opportunity to enhance the local character through a well-considered design.

BUILDING FORM & SCALE

- The proposed building adopts a two-storey scale with a central gabled parapet, referencing traditional terrace typologies typical of the historic context.
- The gable pitch is 30°, creating a visual balance of the parapet and aligning with heritage roof forms.
- A projecting verandah element with a lightweight skillion roof creates a clear separation from the main parapet and reflects typical Victorian-era articulation.

MATERIALITY & FAÇADE COMPOSITION

- The building presents a restrained and complementary palette, including:
- Face brickwork at ground level, referencing traditional masonry.
- Rendered precast wall panels to the upper level and parapet to reflect a traditional finish while accommodating modern construction methods while also acknowledging potential future adjoining development.
- The façade articulation is simple yet cohesive, ensuring a strong street address while remaining sympathetic to traditional terrace forms.

VERANDAH & BALCONY EXPRESSION

- The verandah incorporates a lightweight skillion roof in Colorbond (Monument, 5° pitch), consistent with traditional awning forms but expressed in a modern material.
- The first-floor balcony spans the full width of the façade, incorporating a masonry base for privacy and screening, and vertical steel balustrades above for transparency and rhythm.

STREET INTERFACE

- A clearly defined shopfront zone features:
 - Framed glazing with highlight windows
 - A solid central entry door
 - Materiality and proportion consistent with traditional commercial frontages

SERVICES & FUNCTIONAL CONSIDERATIONS

- Mechanical and service elements are screened behind solid balustrade sections to ensure a clean architectural expression.
- The rear elevation adopts a modest and functional approach, appropriate to its secondary laneway interface.

SUMMARY

This design reflects a contemporary interpretation of traditional Goulburn building forms, balancing heritage sensitivity with functionality. The proposed development enhances the presentation of the site, contributes positively to the conservation area, and integrates sympathetically with the evolving urban context.

For Further detailed heritage input refer to the heritage statement in support of this application.

FINISHES SCHEDULE

EW-1	EXTERIOR WALL: PRECAST CONCRETE RENDER / APPLIED FINISH - GREY	RF-1	METAL DECK ROOFING / DPS / GUTTER / FASCIA: COLORBOND - SOUTHERLY
EW-2	EXTERIOR WALL: VERTICAL CLADDING - BLACK CEDAR	BAL-1	(MINIMUM 1.1m HIGH) STEEL FLAT BAR BALUSTRADE - MONUMENT
EW-3	EXTERIOR WALL: VERTICAL CLADDING - SYCAMORE	WF-01	GLAZING CLEAR WITH MONUMENT WINDOW FRAME
EW-4	EXTERIOR WALL: BRICKWORK - RECYCLED - NAUTIUS	WF-02	COLORBACK GLASS WITH MONUMENT WINDOW FRAME
RD-1	GARAGE DOOR: METAL - MONUMENT	ST-1	METAL AWNINGS / STEEL MEMBERS: METAL - MONUMENT (REFER TO EXTERIOR FACADE CONCEPT / MATERIALS / INSPIRATION PREPARED BY DEACON DESIGNS)

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NSW REG NO: 9888 ACT REG NO: 2574

PROJECT

SHOPTOP HOUSING

PROJECT No.

54/DP778947 [187 BOURKE ST GOULBURN]
202405

DRAWING TITLE **STREETSCAPE**

SCALE **As indicated @ A1**
DATE **AUGUST 2025**

DWG

DA 201

REV	DESCRIPTION
A	CONCEPT ISSUE
B	DA DRAFT ISSUE
C	CONSULTANT ISSUE
D	DA ISSUE
E	DA ISSUE

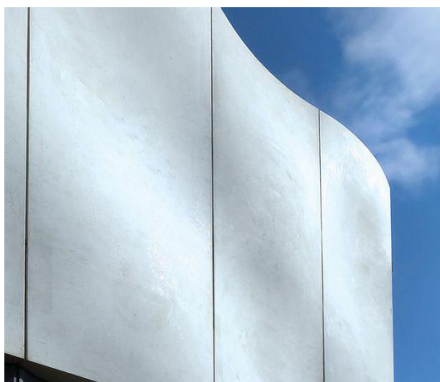
DATE
26.05.24
21.04.25
06.07.25
05.08.25
19.08.25



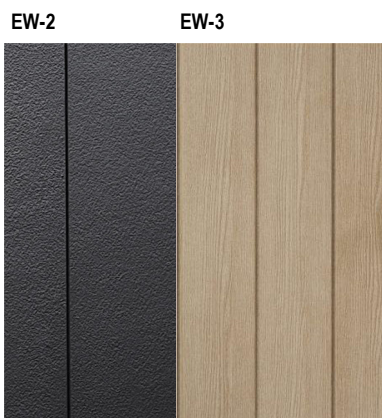
1 BOURKE STREET VIEW
DA 202 @ A1



2 FENWICK STREET VIEW
DA 202 @ A1

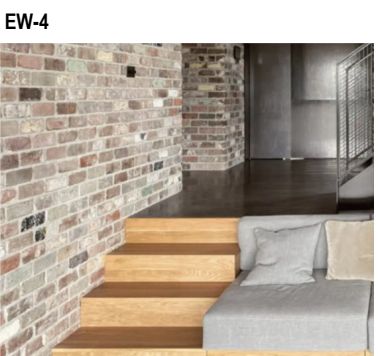


EW-1
EXTERIOR WALL
PRECAST CONCRETE
APPLIED FINISH
GREY



EW-2
EXTERIOR WALL
VERTICAL CLADDING
BLACK CEDAR

EW-3
EXTERIOR WALL
VERTICAL CLADDING
SYCAMORE



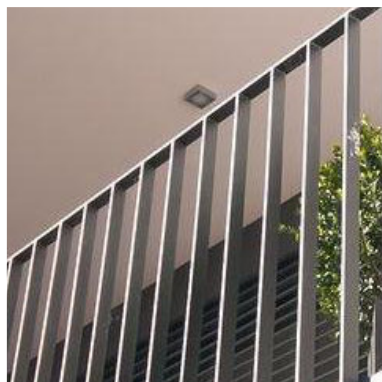
EW-4
EXTERIOR WALL
RECYCLED BRICKWORK
NAUTILUS



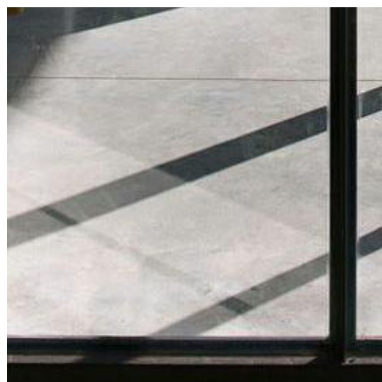
RD-1
GARAGE DOOR
METAL
MONUMENT



RF-1
METAL DECK ROOFING / DPS / GUTTER / FASCIA
COLORBOND
SOUTHERLY

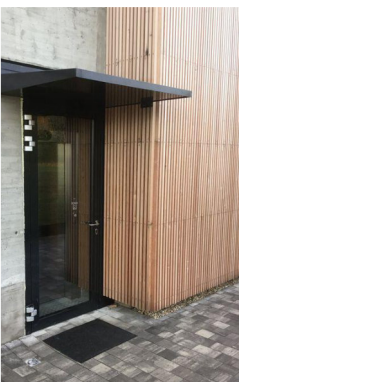


BAL-1 (MINIMUM 1.1m HIGH)
STEEL FLAT BAR BALUSTRADE
MONUMENT



WF-01
GLAZING CLEAR WITH
MONUMENT WINDOW FRAME

WF-02
COLOURBACK GLASS WITH
MONUMENT WINDOW FRAME



ST-1
METAL AWNINGS / STEEL MEMBERS
METAL
MONUMENT

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
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C	CONSULTANT ISSUE	06.07.25
D	DA ISSUE	05.08.25
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(REFER TO EXTERIOR FACADE CONCEPT / MATERIALS /
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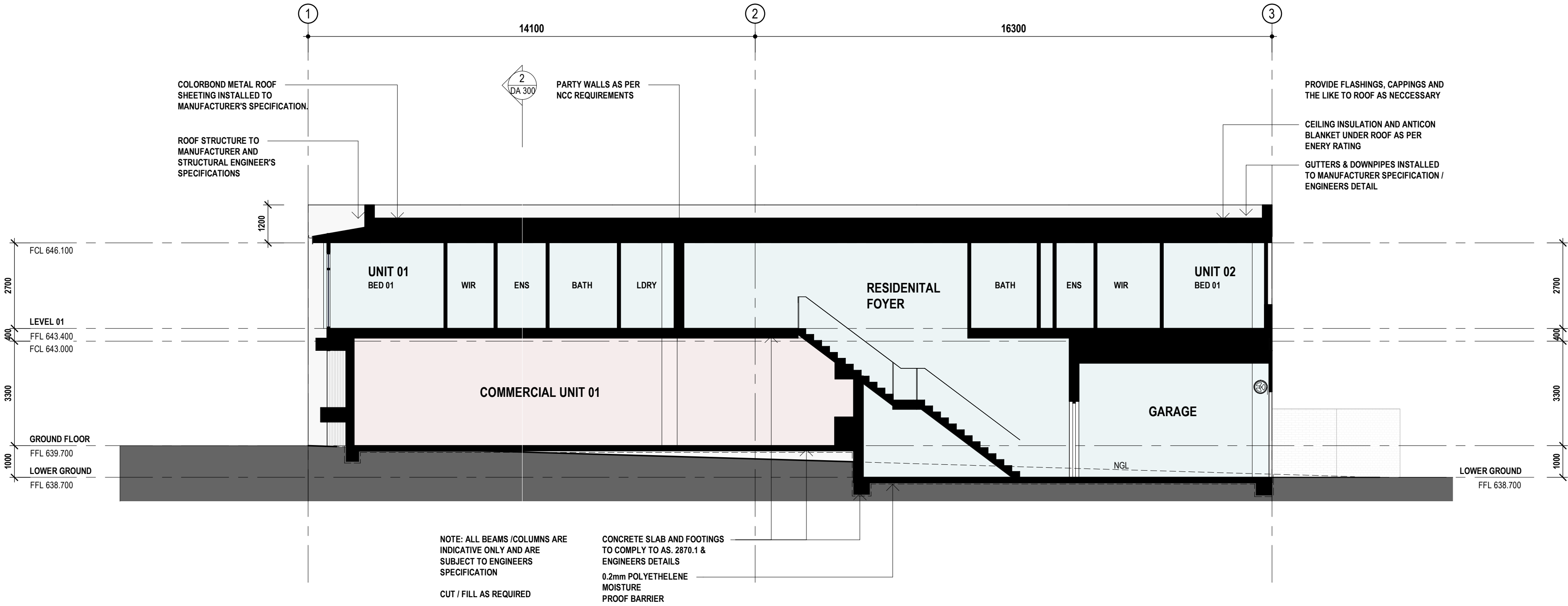
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PROJECT SHOPTOP HOUSING
PROJECT No. 54/DP778947 [187 BOURKE ST GOULBURN]
202405

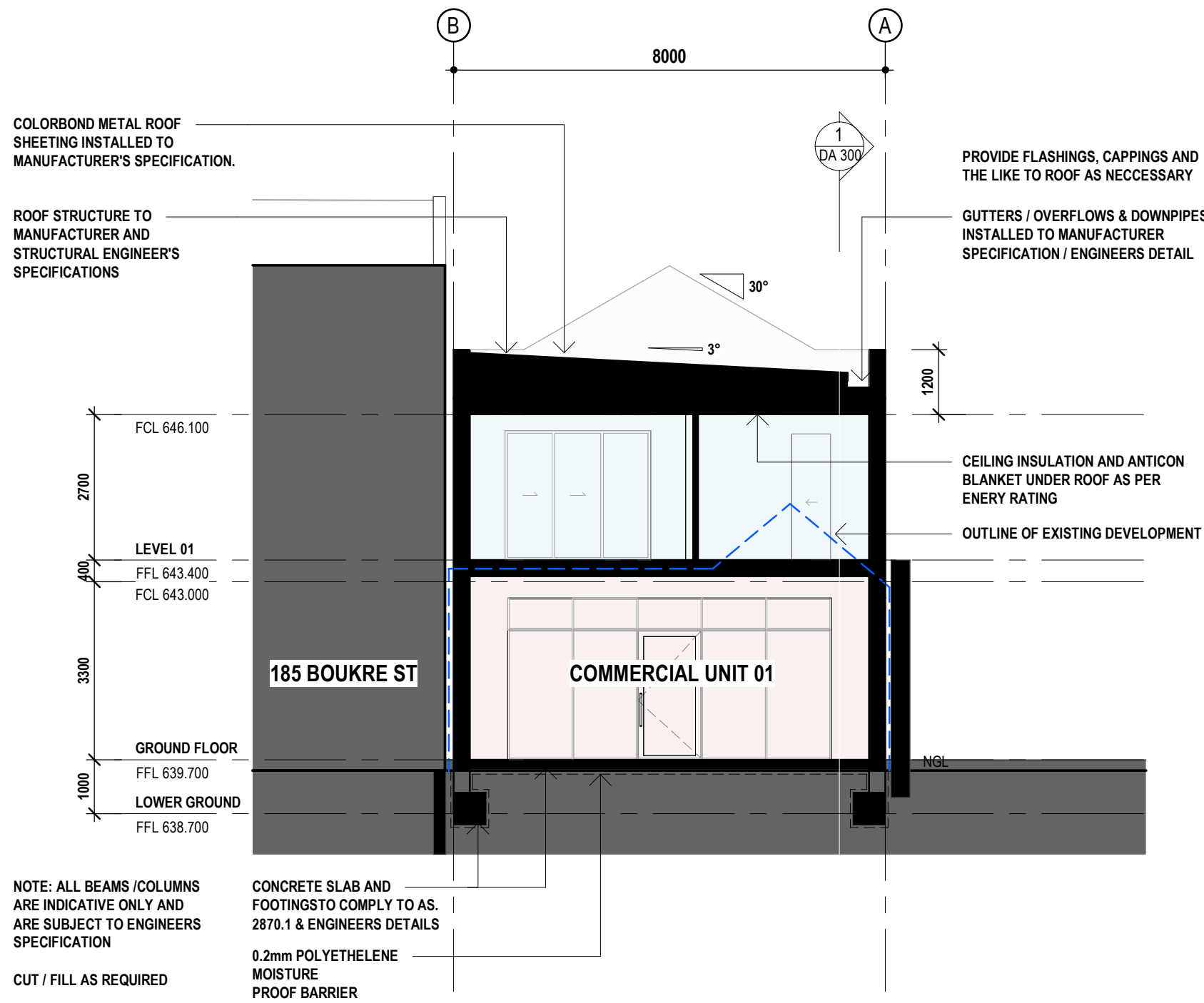
DRAWING TITLE MATERIAL SAMPLE BOARD
SCALE NTS
DATE AUGUST 2025

DWG DA 202



1 SECTION A-A
DA 300 1: 100 @ A1

Energy Efficiency Requirements	
FLOOR DETAILS	
Suspended Slab between levels:	No insulation required
WALL DETAILS	
Vertical Cladding walls:	R2.0 insulation plus 1 breathable wrap
Concrete walls:	R1.5 insulation required
Internal Party Walls between Dwellings:	R2.0 insulation on each side
ROOF & CEILING DETAILS	
Metal Roof:	R4.0 insulation plus 1 single sided foil
WINDOWS, GLAZING	
FRAMES:	Aluminium Frames
GLAZING:	All Windows to be Double Glazed with U-Value=4.10, SHGC=0.52
	All Fixed Skylight Windows to be Double Glazed with U-Value=2.58, SHGC=0.24
	All Operable Skylight Windows to be Double Glazed with U-Value=2.53, SHGC=0.21
	U Value to be equal or less & SHGC can be within 5%
AIR LEAKAGE LIGHTING	
• Exhaust fans to be sealed.	
• Windows and sliding doors are fitted with weather seals.	
• External doors to be weather stripped.	
• Gaps & Cracks around doors, windows and service penetrations are sealed.	
• All other: as per energy report and plans.	
LIGHTING	
The lamp illumination power density or artificial lighting not to exceed:	
• In Class 1 building (within the building), 5W/sqm	
• On a verandah or balcony attached to the class 1 4W/sqm	
• In a class 10 building (Garage, Shed...) 3W/sqm	



2 SECTION B-B
DA 300 1: 100 @ A1

NOTES

GENERAL

BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PLANT, TOOLS, PERMITS, INSURANCE AND THE LIKE NECESSARY FOR THE PROPER COMPLETION OF THE WORK AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THEIR RESPECTIVE KINDS. BUILDER IS TO VISIT THE SITE AND INFORM HIMSELF OF SCOPE OF WORK PRIOR TO COMMENCING. FOLLOW FIGURED DIMENSIONS ON THE DRAWINGS. CHECK AND VERIFY DIMENSIONS PRIOR TO STARTING ANY WORK. BUILDING SETBACKS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR PRIOR TO COMMENCING AND WORK. MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE NCC, THE N.S.W. APPENDIX AND ALL OTHER RELEVANT CODES. BUILDER SHALL BE RESPONSIBLE FOR THE GENERAL WATER TIGHTNESS OF THE ENTIRE WORKS IN ALL TRADES.

FOOTINGS

REFER TO ENGINEERING FOR DETAILS. FOOTINGS TO BE IN ACCORDANCE WITH ENGINEERING SPECS AND AS2870 PART 1. FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND.

BRICKWORK

BRICKWORK AS SELECTED REFER TO DRAWINGS FOR FINISHES UNLESS OTHERWISE NOTED. GENERALLY 230X110X76MM BRICKS BONDED IN STRETCHER BOND.

MORTAR TO COMPLY WITH THE REQUIREMENTS OF RELEVANT SAA CODES. CEMENT MORTAR: 6 PART SAND 1 PART CEMENT 1 PART LIME

LINTELS FOR BRICKWORK

REFER TO ENGINEERING FOR DETAILS. WHERE SPANS ARE UP TO 1500MM PROVIDE 150MM BEARING ONTO BRICKWORK. WHERE SPANS ARE OVER 1500MM PROVIDE 230MM BEARING ONTO BRICKWORK. WHERE STEEL ANGLES ARE USED ENSURE THAT THE LONGER LEG IS PLACED VERTICAL.

GALVANISED LINTELS SIMILAR TO GALINTELS SPANS UP TO 1000MM: LINTEL 75X100MM - T BEAM 150 SPANS 1200 TO 2100MM: LINTEL 100X100X10MM ANGLE - T BEAM 150 SPANS 2400 TO 3000MM: LINTEL 150X100X10MM ANGLE - T BEAM 250 FOR OTHER SPANS REFER TO MANUFACTURES SPEC OR ENGINEERS DETAIL.

TIMBER STUD WORK

ALL TIMBERWORK TO COMPLY WITH THE REQUIREMENTS OF AS 1684 NATIONAL TIMBER FRAMING CODE. TIMBER FLOOR JOIST TO BE IN ACCORDANCE WITH ENGINEERING PLANS 90X35 PINE PLATES AND NOGGING. PROVIDE SECOND 90X45 TOP PLATE TO ALL LOAD BEARING WALLS. 90X35 PINE STUDS AT 450 CTRS TO ALL LOAD BEARING WALLS AND AT 600 CTRS TO NON-LOAD BEARING WALLS. PROVIDE 90X45 F8 STUDS TO BOTH SIDES OF OPENINGS CARRYING LINTELS F8 TIMBER TO WALLS SUPPORTING TRUSSES WITH SPANS GREATER THAN 6M. 50X38MM OR 28mm FURRING CHANNELS CEILING BATTENS AS SELECTED AT 450 CTRS 10MM PLASTERBOARD WALL AND CEILING LINING. FIBROUS CEMENT SHEET WALL LINING TO EAVES.

ROOF

METAL ROOFING - AS NOTED ON DRAWING. METAL FASCIA AND GUTTER AS SELECTED. ROOF PITCH (REFER TO DRAWINGS).

TRUSSES AT 600MM CTRS. FIXED TO MANUFACTURES SPECIFICATIONS AND/OR TO ENGINEERS DETAILS LINTEL SIZE TO TRUSS MANUFACTURERS CHARTS.

PROVIDE DAMP PROOF COURSE AT BEARER SEATING LEVEL. PROVIDE STEPPED CAVITY FLASHING WITH WEEP HOLES AT 1200MM CENTRES TO THE EXTERNAL BRICK SKIN AT GROUND FLOOR LEVEL, UNDER WINDOW SILLS AND IN BRICKWORK ABOVE WINDOWS.

UNLESS OTHERWISE DIRECTED EXTERNAL STEPS TO BE 75MM REINFORCED CONCRETE. RISER: 172MM GOING: 265MM MIN. UNLESS OTHERWISE NOTED.

CONCRETE SLAB

REFER TO ENGINEERING FOR DETAILS.

PROVIDE CLEAN WELL CONSOLIDATED FILL UNDER SLAB AS REQUIRED. WHERE FILL EXCEEDS 400MM PROVIDE PIERS TO ENGINEERS SPECIFICATION

0.2MM POLYETHYLENE MOISTURE BARRIER UNDER CONCRETE SLAB. PROVIDE REINFORCED CONCRETE STRIP FOOTING OR THICKENING IN SLAB UNDER LOAD BEARING WALLS AS PER AS 2870.1

SUSPENDED CONCRETE SLAB IN ACCORDANCE TO ENGINEERS DETAILS.

PLASTER/INTERNAL LININGS

WALL FRAMING TO ALL ROOMS TO BE COVERED WITH CLOSE JOINT LININGS. THE JOINTS BEING BACKED WITH EITHER NOGGINGS OR STUDS AS REQUIRED BY MANUFACTURER. ALL LININGS SHALL BE SECURELY FIXED. UNLESS OTHERWISE NOTED.

PLASTERBOARD (MIN 10MM THICK) WALL AND CEILING LINING.

FIBROUS CEMENT SHEET WALL LINING TO WET AREAS. PROVIDE SQUARE SET PLASTERING AT INTERSECTIONS OF ALL BEAM AND WALL JUNCTIONS WITH CEILINGS.

DRAINAGE AND PLUMBING

PROVIDE ALL NECESSARY DRAINAGE REQUIRED FOR THE DISCHARGE AND CONNECTION TO APPROPRIATE TIES OF SEWERAGE, STORMWATER AND OTHER DRAINAGE SERVICES AS REQUIRED FOR THE PROPER FUNCTIONING OF THE FACILITIES AS REQUIRED BY THE APPROPRIATE AUTHORITIES.

PROVIDE ALL AGRICULTURAL DRAINS AS REQUIRED TO DIVERT WATER AND MOISTURE WHICH MAY CAUSE SEEPAGE TO THE BUILDING STRUCTURE.

PROVIDE ALL NECESSARY PLUMBING MATERIALS AND SERVICES REQUIRED FOR THE PROPER OPERATION OF ALL SANITARY FIXTURES AND FITTINGS. WATER SUPPLY AND RETICULATION, ROOF PLUMBING, FLASHINGS AND THE LIKE AS NECESSITATED BY THE WORKS.

PAINTER

PROVIDE ALL PAINTERS WORK AS REQUIRED BY THE BUILDER AND AS NECESSITATED BY THE NATURE OF THE JOB. WORK TO BE FINISHED IN THE BEST MANNER, ENSURE SURFACES ARE SMOOTH AND PERFECTLY CONDITIONED TO TAKE THE APPLIED FINISH.

WINDOW

PROVIDE ALL NECESSARY MATERIALS, FIXINGS, FRAMES, GLAZING, FLY SCREENS AND THE LIKE CONFORMING TO ALL RELEVANT TRADE PRACTICES AND CODES. ENSURE THE CORRECT OPERATION OF WINDOWS, SLIDING DOORS AND THE LIKE, ENSURING CORRECT PROTECTION FROM WATER AND THE LIKE.

ELECTRICAL

SUPPLY ERECT AND CONNECT ALL NECESSARY MATERIAL TO COMPLETE THE ELECTRICAL INSTALLATION FOR ITS FULL SATISFACTORY OPERATION AND IN ACCORDANCE WITH AUTHORITIES REQUIREMENTS, RELEVANT CODES AND REGULATIONS AND AS DIRECTED BY THE BUILDER.

FORWARD ALL NOTICES, ARRANGE FOR ALL INSPECTIONS AS REQUIRED BY THE RELEVANT AUTHORITIES.

SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH NCC, COMPLY WITH AS3786 AND ALL OTHER RELEVANT CODES. SMOKE ALARMS ARE TO BE CONNECTED TO MAINPOWER WITH BATTERY BACK UP, AND WIRED IN ACCORDANCE WITH AS3000. SMOKE ALARMS TO BE INTERCONNECTED ON ALL FLOORS

EXTERNAL

GROUND LEVELS, AND STEPS ARE APPROXIMATE ONLY. ACTUAL GROUND/ SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.

EXPRESSED JOINTED FIBROUS CEMENT SHEET LINING TO EAVES & CEILINGS WHERE APPLICABLE.

LANDING ON BRICK WALLS TO BE 100MM THICK REINFORCED WITH 1 LAYER F718 MESH.

PROVIDE YARD SUMPS AS REQUIRED.

SUB-FLOOR VENTILATION

AIR VENTS

THE AREA FOR VENTILATION OF WALL IS BASED ON THE ACCEPTABLE CONSTRUCTION PRACTICE IN TABLE 6.2.18 OF BCA VOLUME 2 AND THE RECOMMENDATIONS OF AS 3661.1, 2000 (TERMITES MANAGEMENT - NEW BUILDINGS). WHERE THE SUB-FLOOR IS ENCLOSED BY SOLID MASONRY, PERMANENT VENTS MUST BE INSTALLED IN THE MASONRY DURING CONSTRUCTION. THE BCA, PART 6.2 OUTLINES SUB-FLOOR VENTILATION REQUIREMENTS TO LIMIT THE MOISTURE CONTENT OF FRAMING TIMBERS IN THE SUB-FLOOR SPACE. THE MINIMUM LEVEL OF VENTILATION REQUIRED TO ACHIEVE THIS IS DEPENDENT ON THE LOCATION AND SUB-FLOOR CONDITIONS.

BCA NOTES:

THE STAIRS AND BALUSTRADES, HANDRAILS BEING DESIGNED TO COMPLY WITH PART 11.2 AND PART 11.3 OF THE BCA

PROTECTION OF OPENABLE WINDOWS BEING IN ACCORDANCE WITH PART 11.3.7 & 11.3.8 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS.

NON-SLIP-RESISTANT WALKING SURFACES ON STAIRWAY TREADS AND LANDINGS(S) NEAR THE EDGE OF THE NOSINGS. OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 11.2.4

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
B	DA DRAFT ISSUE	21.04.25
C	CONSULTANT ISSUE	06.07.25
D	DA ISSUE	05.08.25
E	DA ISSUE	19.08.25

This drawing is to be read in conjunction with all other contract documents inclusive of all schedules, specifications and other consultants documentation. Any discrepancies or inconsistencies are to be clarified prior to work. Written dimensions take precedence over scaled dimensions. This drawing is copyright and shall remain the property of Kensit Architects.



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PROJECT **SHOPTOP HOUSING**
PROJECT No. **54/DP778947 [187 BOURKE ST GOULBURN] 202405**

DRAWING TITLE **SECTIONS**

SCALE **1: 100 @ A1**
DATE **AUGUST 2025**

DWG **DA 300**

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Multi Dwelling

Certificate number: 1807599M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/06/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 07 August 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate W55HFSSCZM.

Project summary			
Project name	187 Bourke Street, Goulburn NSW 2580		
Street address	187 BOURKE STREET GOULBURN 2580		
Local Government Area	GOULBURN MULWAREE		
Plan type and plan number	Deposited Plan 778947		
Lot No.	5		
Section no.	-		
No. of residential flat buildings	0		
Residential flat buildings: no. of dwellings	0		
Multi-dwelling housing: no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 43		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 65		Target 63
Materials	✓ 21		Target n/a

Certificate Prepared by	
Name / Company Name:	Energy Rating Group
ABN (if applicable):	

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Description of project

Project address		Common area landscape	
Project name	187 Bourke Street, Goulburn NSW 2580	Common area lawn (m²)	0
Street address	187 BOURKE STREET GOULBURN 2580	Common area garden (m²)	0
Local Government Area	GOULBURN MULWAREE	Area of indigenous or low water use species (m²)	0
Plan type and plan number	Deposited Plan 778947	Assessor details and thermal loads	
Lot No.	5	Assessor number	W55HFSSCZM
Section no.	-	Certificate number	W55HFSSCZM
Project type		Project score	
No. of residential flat buildings	0	Climate zone	24
Residential flat buildings: no. of dwellings	0	Water	
Multi-dwelling housing: no. of dwellings	2	✓ 43	Target 40
No. of single dwelling houses	0	Thermal Performance	✓ Pass Target Pass
Site details		Energy	✓ 65 Target 63
Site area (m²)	242	Materials	✓ 21 Target n/a
Roof area (m²)	178.1		
Non-residential floor area (m²)	188.8		
Residential car spaces	2		
Non-residential car spaces	0		

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Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	RW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
U1	2	75.7	6.8	0	0	-	-	-	-	-	-	-	-	-
U2	2	88.8	6.9	0	0	-	-	-	-	-	-	-	-	-

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 3/16

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(i) Dwellings	Show on DA plans	Show on CC/CDD plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a future or appliance to be installed in the dwelling, the applicant must ensure that each such future and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "RW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 6/16

Fluores													
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	RW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover
All dwellings	4 star (>= 4.5 but <= 5 L/min)	4 star	4 star	4 star	-	-	-	-	-	-	-	-	-

Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	No alternative water supply	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDD plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating systems specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, under at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zones" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓

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(iii) Energy	Show on DA plans	Show on CC/CDD plans & specs	Certifier check
(a) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(b) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Dwelling no.	Hot water system	Bathroom ventilation system	Kitchen ventilation system	Laundry ventilation system
	Each bathroom	Operation control	Each kitchen	Operation control
All dwellings	gas instantaneous - 5 star	individual fan, ducted to facade or roof	individual fan, ducted to facade or roof	natural ventilation only, or no laundry

Cooling			Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms or toilets	Main kitchen
All dwellings	3-phase airconditioning / EER 3.0 - 3.5	3-phase airconditioning / EER 3.0 - 3.5	3-phase airconditioning / EER 3.0 - 3.5	3-phase airconditioning / EER 3.0 - 3.5	0	yes

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 8/16

Individual pool									
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line
All dwellings	-	-	-	-	-	gas cooktop & electric oven	-	-	-

Alternative energy			
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
All dwellings	-	-	-
(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDD plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:		✓	✓

(aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 9/16

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDD plans & specs	Certifier check
(b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

Thermal loads			
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)	Area adjusted total load (in MJ/m²/yr)
U1	84.3	9.6	93.900
All other dwellings	104.7	7.8	112.500

Construction of floors and walls				
Dwelling no.	Concrete slab on ground	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)
U1	-	1.8	80.6	-
All other dwellings	-	-	95.6	29.39

Floor types									
Concrete slab on ground		Suspended floor above enclosed subfloor		Suspended floor above open subfloor					
Dwelling no.	Area (m²)	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)
U1	-	-	-	conventional slab	concrete - suspended	80.6	-	concrete - suspended	1.8
All other dwellings	-	-	-	conventional slab	concrete - suspended	95.6	-	-	-

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 10/16

Floor types										
First floor above habitable rooms or mezzanine			Suspended floor above garage				Garage floor			
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Low emissions option
U1	-	-	-	-	-	-	0	-	-	conventional slab

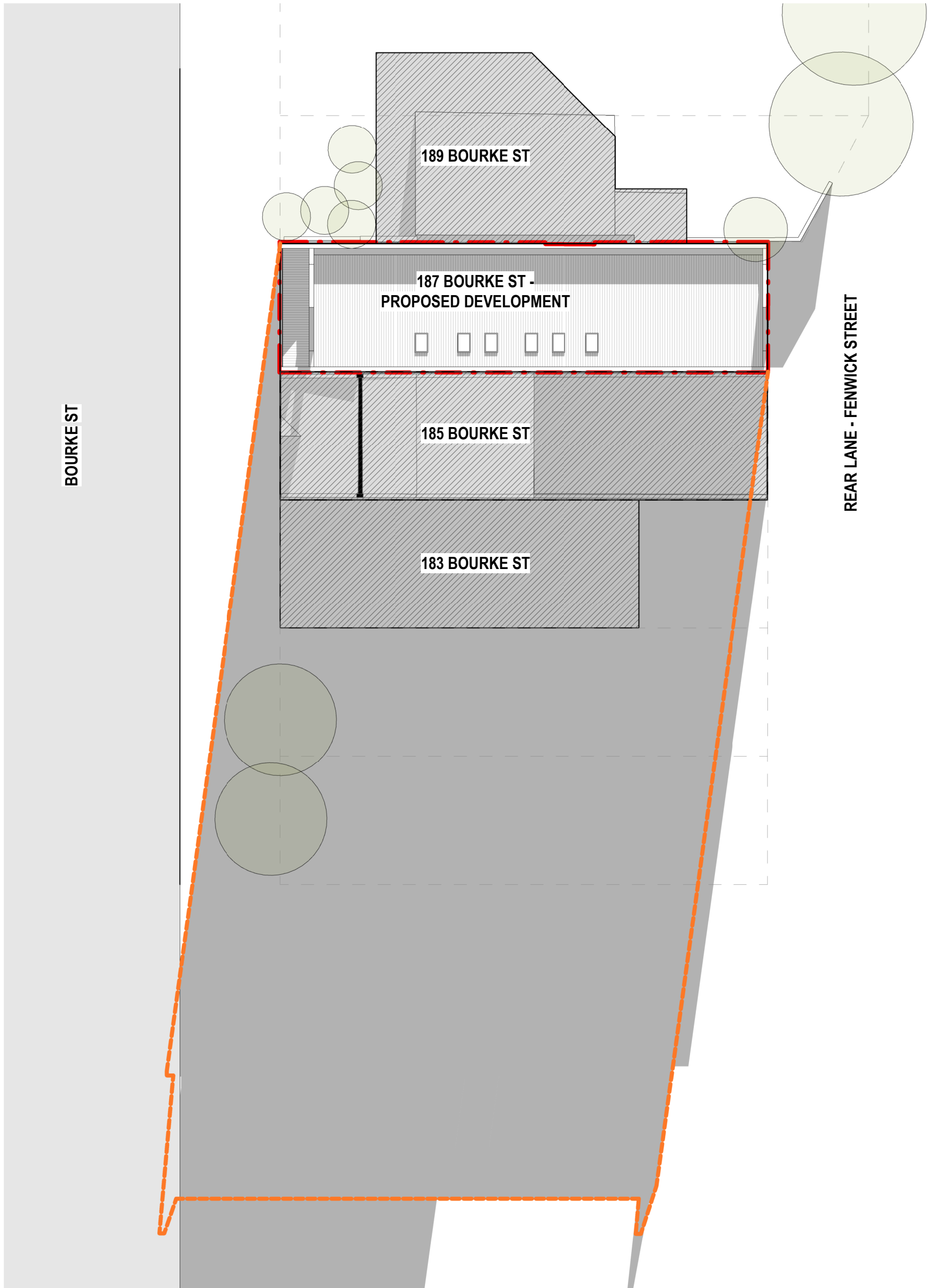
BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 11/16

Floor types										
First floor above habitable rooms or mezzanine				Suspended floor above garage			Garage floor			
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Low emissions option
All other dwellings	-	-	-	-	-	-	-	0	-	conventional slab
External walls										
External wall type 1						External wall type 2				
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option		
U1	concrete block/ plasterboard	70.6	polystyrene	none	framed (fibre cement sheet or boards), frame: timber - H2 treated softwood	23.1	-	none		
All other dwellings	concrete block/ plasterboard	86.1	polystyrene	none	framed (fibre cement sheet or boards), frame: timber - H2 treated softwood	25.3	fibre/glass batts or roll	none		
External walls										
External wall type 3						External wall type 4				
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option		
All dwellings	-	-	-	-	-	-	-	-		
Internal walls										
internal walls shared with garage				Internal wall type 1			Internal wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	
U1	-	-	-	plasterboard, frame: timber	78.8	-	-	-	-	-

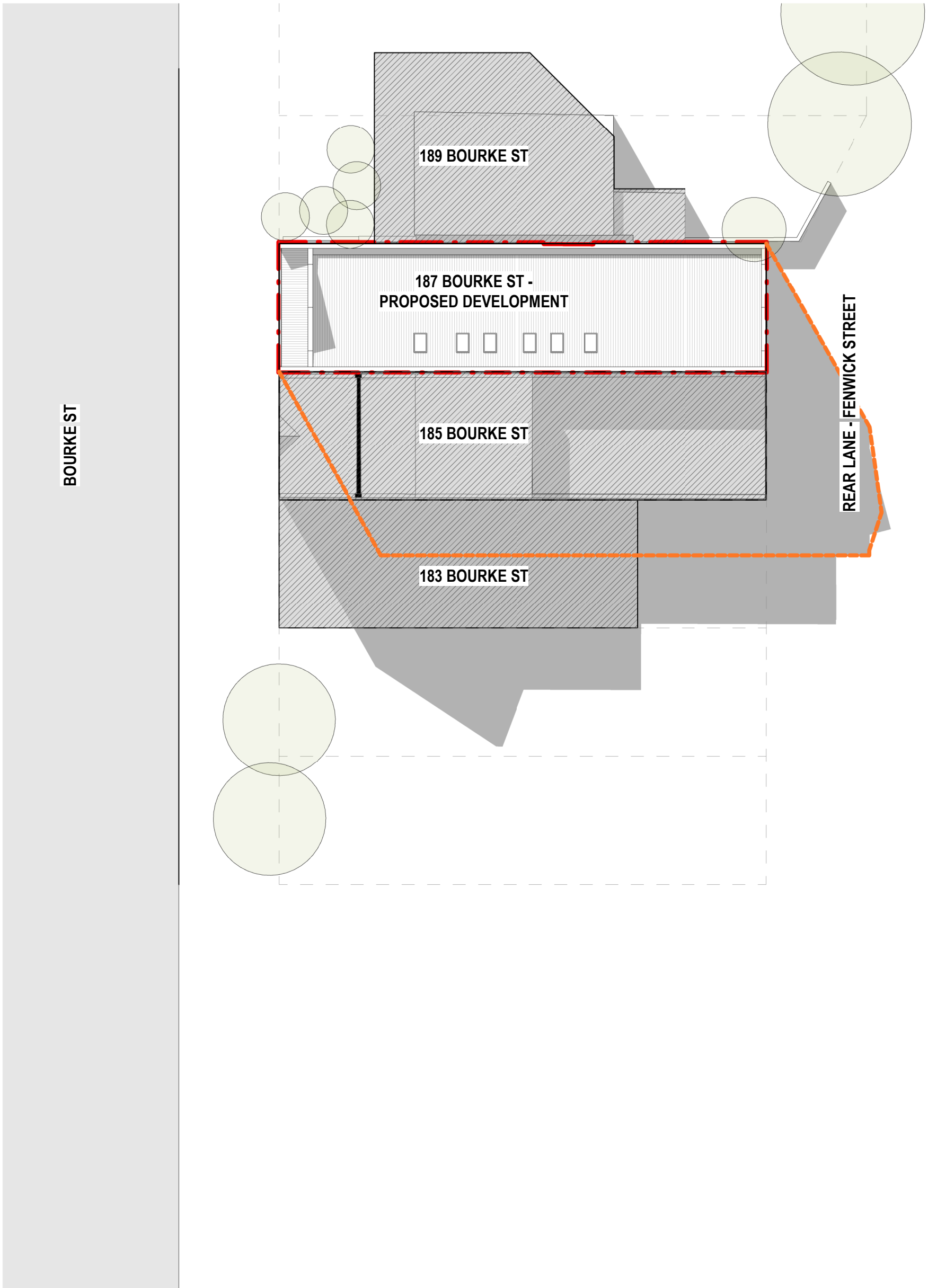
BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1807599M Thursday, 07 August 2025 page 12/16

Internal walls							
Internal walls shared with garage				Internal wall type 1			
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	
All other dwellings	-	-	-	H2 treated softwood plasterboard, frame: timber - H2 treated softwood	91.2	-	-

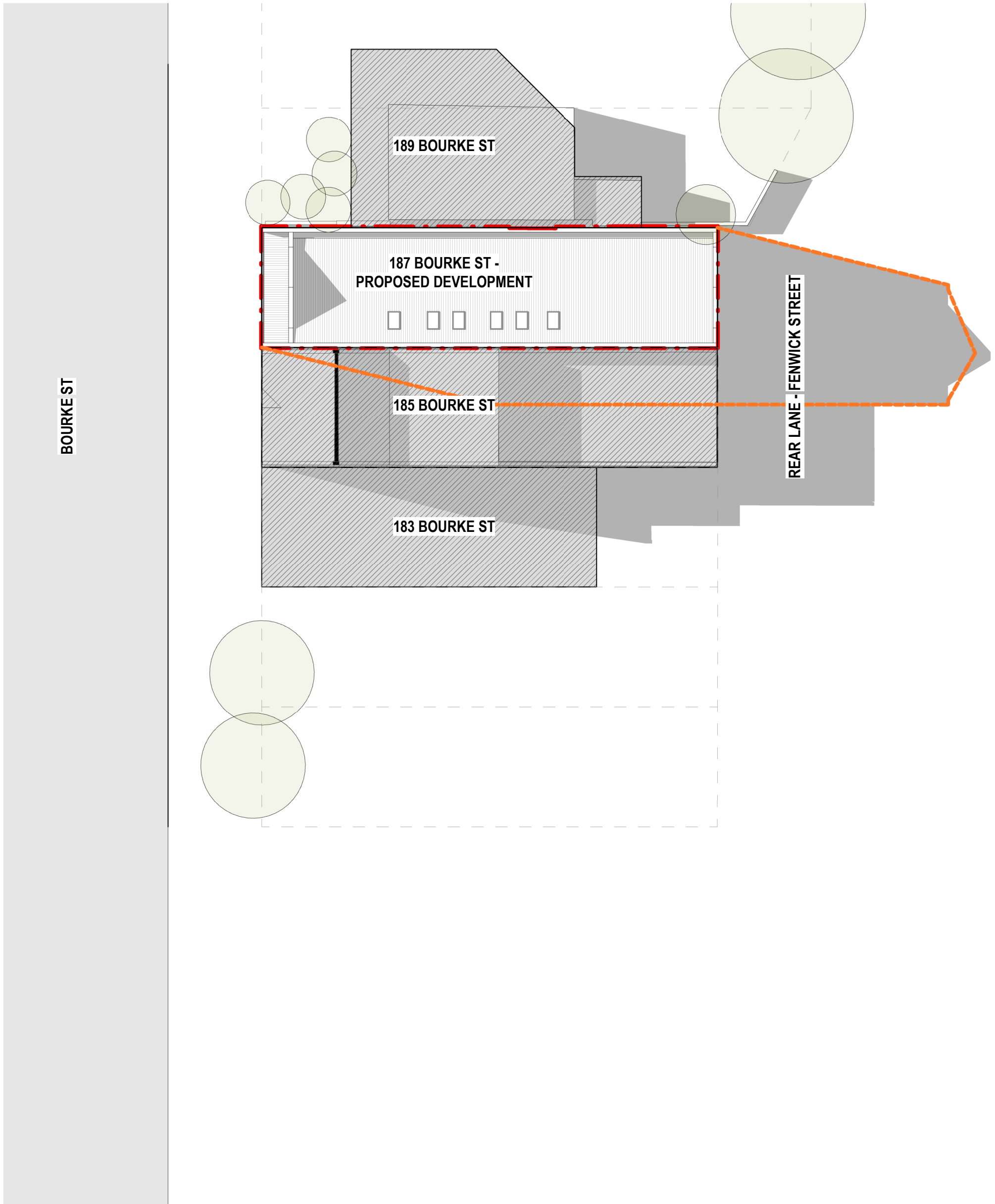
Ceiling and roof							
Flat ceiling / pitched roof			Raked ceiling / pitched or skillion roof			Flat ceiling / flat roof	
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	
U1	-	-	Ceiling: Roof	-	Ceiling: Roof	82.5	C



1 SHADOW DIAGRAM WINTER 21ST JUNE - 9AM
DA 500 1:250 @ A1



2 SHADOW DIAGRAM WINTER 21ST JUNE - 9AM Copy 1 Copy 1
DA 500 1:250 @ A1



3 SHADOW DIAGRAM WINTER 21ST JUNE - 12PM
DA 500 1:250 @ A1

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
B	DA DRAFT ISSUE	21.04.25
C	CONSULTANT ISSUE	06.07.25
D	DA ISSUE	05.08.25
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NOMINATED ARCHITECT: DEAN KENSIT

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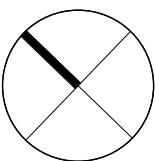
PROJECT SHOPTOP HOUSING

PROJECT No. 54/DP778947 [187 BOURKE ST GOULBURN]
202405

DRAWING TITLE SHADOW DIAGRAMS

SCALE 1:250 @ A1
DATE AUGUST 2025

DWG DA 500





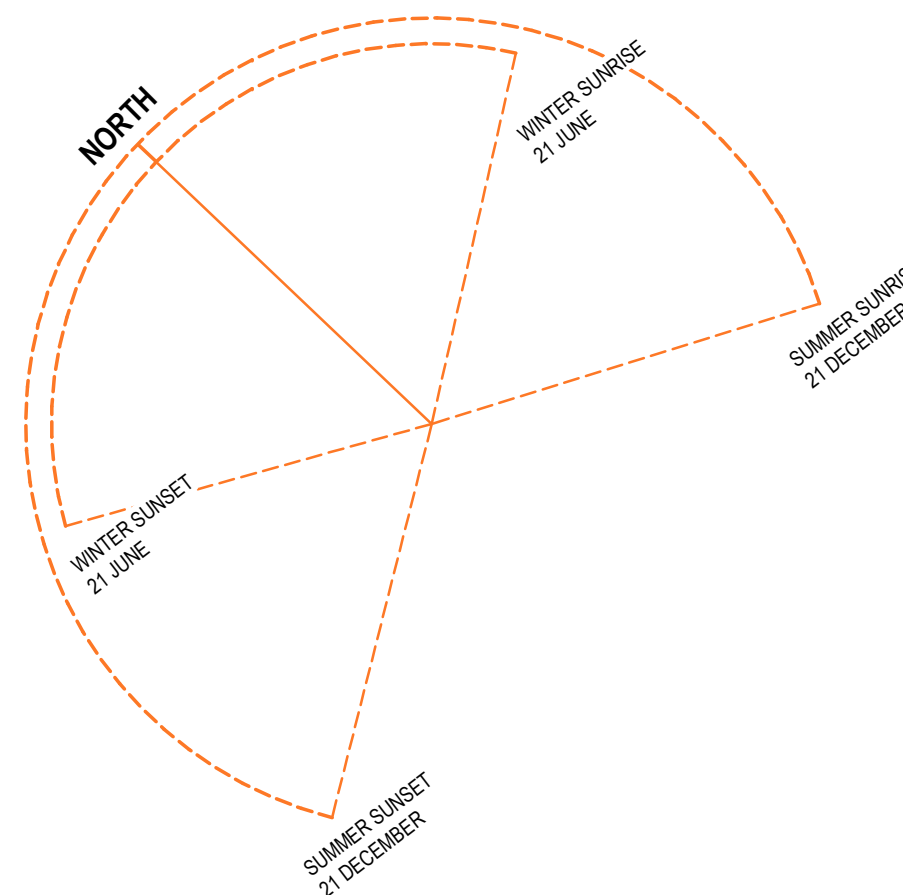
1 RESIDENTIAL - SOLAR ACCESS
DA 501 1:50 @ A1

SOLAR ACCESS DIAGRAM NOTES

UNIT 1 (FRONT DWELLING):
RECEIVES 3+ HOURS OF DIRECT SUNLIGHT TO LIVING AREAS BETWEEN 9AM-3PM MID-WINTER.

UNIT 2 (REAR DWELLING):
RECEIVES PARTIAL SOLAR ACCESS, SUPPLEMENTED BY SKYLIGHTS TO MEET DAYLIGHT AND AMENITY REQUIREMENTS.

NOTE:
SITE ORIENTATION, BUILT-TO-BOUNDARY NEIGHBOURS, AND FIRE RATING CONSTRAINTS LIMIT DIRECT SUNLIGHT. DESIGN RESPONDS WITH PASSIVE DAYLIGHTING STRATEGIES TO MAINTAIN INTERNAL AMENITY.



LEGEND

- CROSS VENTILATION
- RECEIVES 3+ HOURS OF DIRECT SOLAR ACCESS
- RECEIVES 2+ HOURS SOLAR ACCESS VIA SECONDARY LIGHT SOURCE (SKYLIGHTS)
- NO DIRECT SUNLIGHT BETWEEN 9AM-3PM, SKYLIGHT PROVIDED FOR AMBIENT DAYLIGHTING

REV	DESCRIPTION	DATE
A	CONCEPT ISSUE	26.05.24
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NSW REG NO: 9888 ACT REG NO: 2574

PROJECT **SHOPTOP HOUSING**
54/DP778947 [187 BOURKE ST GOULBURN]
PROJECT No. **202405**

DRAWING TITLE **SOLAR ACCESS**

SCALE **As indicated @ A1**
DATE **AUGUST 2025**

DWG **DA 501**

